

## PLAN COMMISSION

Tuesday, January 19, 2016

7:00 P.M.

McFarland Municipal Center  
Community Room

### AGENDA

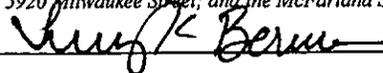
1. Call to order.
2. Review and approval of draft Minutes from the December 21, 2015 Plan Commission meeting.
3. Public Hearing - Review and possible action regarding a request for a 2-Lot Certified Survey Map (CSM), for property owned by Spartan Properties of McFarland LLC. Legal description as follows: Lots One(1) and Two (2), Certified Survey Map No. 4586, recorded in Volume 20 of certified surveys, page 97 and 98, as document No. 1867607, Located in the Village of McFarland, Dane County, Wisconsin. The property addresses are 5611 and 5613 Lake Edge Road, and currently zoned C-G General Commercial.
4. Public Hearing - Review and possible action regarding a Conditional Use Permit (CUP), requested by Tim Neitzel, for approval of a 6-unit multi-family residential structure for property located at 5611 Lake Edge Road currently zoned C-G General Commercial.
5. Review and possible action on a site design plan for a 6 unit multi-family residential structure at 5611 Lake Edge Road. The property is currently zoned C-G General Commercial.
6. Consultant report – Comprehensive Plan update.
7. Department Reports:
  - a. Highlights and updates
  - b. Property Maintenance

### 8. Adjournment

Notes:

- 1) Persons needing special accommodations should call 608-838-3154 at least 24 hours prior to the meeting.
- 2) A quorum of The Village Board may attend this meeting for the purpose of gathering information relevant to their responsibilities as Village trustees. No matter shall be considered nor shall any action be taken by said Village Board members at this meeting.
- 3) More specific information about agenda items may be obtained by calling 608-838-3154.

*This agenda was posted, or caused to be posted, by my hand on the 15<sup>th</sup> day of January 2016, at the following three (3) posting places in the Village of McFarland, to wit: McFarland Municipal Center, 5915 Milwaukee Street; E.D. Locke Public Library, 5920 Milwaukee Street; and the McFarland State Bank, 5990 Hwy. 51.*



Tracey Berman, Clerk/Deputy Treasurer

## **DRAFT - Minutes Plan Commission Meeting**

**December 21, 2015**

**Members Present:** Brad Czebotar, Kate Barrett, Cathy Kirby, Ron Berger, Bruce Fischer, Dan Kolk

**Members Absent:** Steve Jackson

**Staff Present:** Pauline Boness, Allan Coville, Karen Knoll

**Others Present:** Bradley Werginz, Angus Young Architects

1. **Call to order.** Chair Czebotar called the meeting to order at 7:00 p.m.
2. **Review and possible approval of draft Minutes from the November 15, 2015 Plan Commission meetings.**

Czebotar moved to approve, seconded by Kolk the November 15, 2015 minutes. Motion carried 6-0.

3. **Review and possible action regarding a Site/Design Review, requested by Village of McFarland to build a heated shelter with restrooms in Lewis Park, currently zoned CO, Conservancy.**

Allan Coville, Director of Public Works reviewed the Villages efforts to construct a new shelter in Lewis Park. The existing shelter needs extensive repairs and must be brought up to code. The Parks Natural Resources Committee worked with a consultant and held public meetings to enable residents to give their feedback regarding the proposed project. The Village Board approved the hiring of architectural firm Angus Young. A 2016 build is proposed.

Brad Werginz reviewed the renderings and relocation of the Veterans Memorial site to a circular drive access. The new shelter location was selected due to underground mains, and to move closer to the water thereby enhancing bird viewing opportunities. The shelter itself will have large overhead doors facing the lake opening onto a covered veranda. The lake side will have natural seating areas. There will be a circle entrance drive and parking to the north. The floor plan shows a large heated interior gathering space and a serving kitchen area with a rollup shutter door. There is room for two refrigerators and many electrical outlets for warming appliances. A family toilet will have outdoor access for year round use along with a storage room for off season storage and mechanicals. The main restroom facilities will be only accessible from the inside of the building. Per the Committee's request, there is an area being kept open for a future fireplace with 2 sets of glass double doors facing the skating rink.

Werginz reviewed the elevations and designs. Berger asked why are they building a new rather than remodeling the current. Werginz responded the existing toilet facilities would require complete demolition in order to bring them up to code. There was also the wish to have the building heated which would require extensive renovation of the existing foundation to bring it up to energy code. Coville added the entire roof would have needed to be renovated. One of the common complaints they hear is in the winter time when the walls are put back up and bolted against the columns, which is a four person, three hour job, if the weather turn warmer then cold again, and people request the walls be put back up for protection against the weather. In order to put in doors which would roll up, you would have to raise the existing roof. The other main complaint is there is no serving kitchen. There will be no cooking stove in the proposed shelter; but adequate outlets are planned to have warming units for food. Czebotar asked about common complaints of inadequate parking. Coville indicated the new design will have designated parking along with the circular drive and a drop off. There will be angle parking which will free up neighborhood streets where people are currently parking. Coville stated he also met with the Commander of the American Legion to show the layout with the intention of making a small monument area in the circular drive; as people drive in, they will be able to see and recognize the memorial.

Barrett stated she had hoped they could save the old building as the stone work is gorgeous, but the new building will be a great addition. She feels they did look at many options; and, understands how the decision was made but wanted to go on record as had hoped they could have saved the old shelter for possibly even a warming house. Czebotar inquired as to when the decision has to be made about the fireplace; can fireplace from the old shelter be moved to the new shelter? Coville responded they have discussed the possibility of using some of the stone from the current building, possibly on the wall around the flag pole; as, it appears the exterior stone is what people are hoping to preserve. Werginz stated they did have someone come out and inspect the stone from the fireplace to see if it would be salvageable. If and when it is taken apart and they are able to save any of the stone veneer, they will. Gas and electric will be supplied so a new fireplace can be installed in the future. Czebotar asked for clarification, it would no longer be a wood burning fireplace? Werginz responded no it would not be. Barrett liked the option as it gives them time; as, there would be some costs to installing a fireplace.

Kirby asked for clarification, the family toilet will have access to the outside. Coville advised there were hours of discussion over this, the decision point was for someone who is renting the shelter there will be a men's and women's facility on the inside; but, if someone in the park wishes to use a restroom, they would be able to do so without accessing the rented space. Restrooms will have time locks on them similar to what they have now. Kolk stated it was a decision of space rather than having a large vestibule of wasted space. This plan covers the importance of having both inside and outside access. There were probably five other designs they worked with on this project, this final plan seems to cover it all. Kirby wanted to be on record stating she does not like it, but obviously the committee spent a lot of time on it. She also would like to see as many outlets as feasible in the kitchen area. She understands there is a code which will have to be followed but would suggest a step above what is standard put in place. Coville agreed, as it was a common complaint as people were constantly tripping

breakers, the new design will accommodate multiple plug-ins. Kirby inquired if there is a changing table in any of the restrooms. Werginz replied all three restrooms will have a changing table.

Fisher asked how many people this facility will accommodate. Werginz estimates over fifty. Kolk added they estimated with the patio space in the summer up to one hundred. He said there were a lot of questions relating to size. As they worked on the project, it was decided this was not the best place to have a community type center, it was best to scale it as a reasonably sized gathering space as parking on neighborhood streets is still an issue.

Boness asked for a description of lighting for the site. Werginz stated they will be newer type cutoff style fixtures similar to what the DOT uses to cut off glare. They have run the photometrics with zero foot candles at the property lines. There had been a request on the landscaping to have some added screening around the parking lot. They noticed adjacent properties have heavy vegetation creating a natural screening, which, if maintained will create natural screening in the area. They can look into adding some additional shading as well. Kirby agreed the vegetation on the owner's side is pretty thick, you could always add some trees for shade in the parking lot. We would have to decide if we wanted to double up on the screening in the event someone took theirs down, which she could not imagine happening as neighbors like their privacy.

Czebotar moved to approve the site design review requested by the Village to build a heated shelter with restrooms in Lewis Park, currently zoned CO, Conservancy. With the contingencies of staff approval of landscaping and lighting, Kirby seconded the motion. Kirby requested the Village look into doing something other than tall grasses and larger rocks, some green plants would be nice, she understands they would need to be maintained, but it appears we have started just removing bushes and replacing them with large rocks. While understandable in some cases, in a park setting you would like to see something more aesthetic. Barrett stated they are looking to more natural landscaping towards the water but certainly not near the building or memorial.

Motion carried 6-0.

**4. Discussion and possible recommendation to the Village Board regarding annual review of fees in lieu of Parkland Dedication – sec. 56-176 of the Village Of McFarland Municipal Code.**

Boness advised this annual review process takes place in late fall. The information was in your packets for review, the current fee is \$4,115.00 per dwelling unit. It is typically based on the cost of an acre of land purchased for park purposes. The formula was recently reviewed and approved in June. The housing market is still recovering and interest rates will most likely be going up after the first of the year, she would recommend leaving it the same.

Czebotar moved to recommend to the Village Board the fees in lieu of parkland dedication – sec. 56-176 of the Village of McFarland Municipal Code remain unchanged. Barrett seconded the motion, motion carried 6-0.

**5. Update -- regulation of tourist rooming houses.**

Czebotar summarized there has been a lot of effort put into working on this; the State Legislature is currently working on an ordinance which would nullify anything the Village would have put in place, which prevents us from moving forward. It does not make sense to move forward at this time, until this does or does not become law. Kirby does not feel we should completely walk away from what we would like to do as there are hundreds of bills introduced which never move forward. She would like more background and see where this goes and then make a decision on whether or not to move forward. Berger stated he would like to see this move forward and have something in place whether or not the State does something. Czebotar advised while he can see that point, there are financial costs to the Village in moving forward with this, he feels it is prudent to see if this does move forward. Berger advised he did not realize there would be financial costs involved. Kirby inquired if Boness has had any conversation with other municipalities regarding this proposal. Boness responded she has had a number of email conversations with Atty. Matt Fleming and he indicates chances are what we pass will work, it seems to be in the fine details of how the ordinance is worded, the proposed legislation is for residential homes exclusively for rent for seven days or longer. It appears rentals from 2 – 30 days may not be covered. Boness submitted some questions to Fleming and is waiting to hear back from him; the State proposal appears to be geared more towards exempting cottage type rentals which traditionally are rented on a weekly basis.

**6. Department Reports:**

**a. Highlights and Updates**

Boness added approximately one year ago a CUP was approved for Larry Beyler for his property on Farwell Street, it does not appear much has taken place on the property except for signage, there has been no outside storage, parking of cars, it appears everything is going well at this point.

The outdoor drinking ordinance for sport activities, Atty. Fleming has been working on some wordage regarding the height of the netting, language on when netting can be installed and taken down. One other item which has come forward is a way to exit out of the netted area. Boness has emailed Brock Rodar indicating he should be working on those points with the fire department and building inspector. A more defined exit is needed.

**b. Property Maintenance Report – No report**

**7. Adjournment –**

Kirby moved to adjourn, Barrett seconded the motion, motion carried unanimously. Meeting adjourned at 7:40 p.m.

## **Plan Commission**

### **Background and Recommendations**

**January 19, 2016**

#### **Agenda Item #3 – Revised 2 lot CSM 5611 and 5613 Lake Edge Road.**

Back in October of 2012 a 2 lot CSM was approved by the Plan Commission but never recorded. The new CSM in your packets revised has the utility easement on Lot 1 from 30' to 22 ft. and identifies McFarland State Bank as a mortgagee.

Tim Neitzel should be reminded he is responsible for communicating with the driveway owner to the south; as, a portion of his driveway is on Mr. Neitzels property and will conflict with the new driveway needed for Neitzels townhouse project.

Recommendation: Approval pending change of dates from 2014 to 2016.

#### **Agenda Item #4 – CUP for six unit at 5611 Lake Edge Road**

In June of 2011 a Conditional Use Permit for a six unit multi family structure for 5611 Lake Edge, zoned C-G was approved. C-G zoning allows for multi family structure upon issuance of a CUP. For solely residential structures (rather than mixed use) we use R-2, or (in this case) R-3 bulk standards. This structure has the proper lot size; however, permitted R-3 density standards would allow only four units, 6 are requested. The CUP covers allowing a multi-family structure and increased density.

A CUP issued in 2011 has since expired and must be renewed; as, construction has not moved forward. Since 2011 the developer has gone back and forth with a five unit vs a six unit structure; with six units is now proposed. The sixth residential unit will actually be a second story to unit 5 (see your packets) to keep a smaller building footprint.

Plan Commissioners were comfortable with the residential use and density in 2011. The project was originally reduced from a 3 story to a 2 story to better fit the neighborhood. A two story structure continues to be proposed at this time.

Recommendation: Approval. Once again (see Agenda item #3) emphasize to Mr. Neitzel the need to communicate and work with the developer to the south regarding driveway issues.

#### **Agenda Item #5 – Site/Design six unit Lake Edge Road**

The new elevations are very different than what was approved particularly as relating to:

- Roof design
- Gross building area proposed 9,729 sq. ft. Approved in 2011, 13,254 sq. ft.
- Architectural style
- Materials – use of face brick, shingles and vinyl
- Balconies have been removed
- Bedrooms proposed 4 – 2 bedroom units and 2 – 1 bedroom unit; Approved in 2011 6 – 2 bedroom units
- Building height – proposed 28-29 feet; Approved in 2011 24 feet

Landscaping – may need to be revised along the rear lot line due to a possible conflict of plantings with a bio swale.

Lighting – no plans submitted. Assuming residential fixtures on the buildings. Parking lot lighting?

Stormwater – The developers engineer has submitted the latest revisions.

Color Palette: Should be bringing colors to the meeting.

Recommendation: Approval contingent upon approval of stormwater plan by the Village Engineer, signed stormwater management agreement, staff approval of revised landscaping plan, and other contingencies deemed appropriate by the Plan Commission.

**From:** Stuart Allbaugh [mailto:stual@charter.net]  
**Sent:** Wednesday, January 13, 2016 2:59 PM  
**To:** Pauline Boness  
**Cc:** Brad Czebotar  
**Subject:** Lake Edge Rd. Proposed development

We are writing in regard to the proposal for the development of a multifamily unit on 5611 Lake Edge Rd. Attention to family matters prevents us from being present .

While we support the proposal of improving that area we believe a four family unit is more appropriate than a six unit rental on that site.

There are a number of reasons for the village to support a four unit plan.

1) Currently, along the east side of Lake Edge Road, there is a triplex and two duplex homes. During the summer boats, trailers, visitors occupy both sides of the street, adding six units would almost double the potential for congestion. During the winter, snow conditions often limit the road to one lane. In addition the plans have very little open space for children to play. The previous building was a **4 unit rental** & spacious off street parking.

2) Inadequate drainage after any rains, and snow-melt, often flood both sides the street in front of the proposed 6 unit apartments. The village Public Works Dept. is quite familiar with these issues. The addition of another driveway and a 6 unit apartment building adds to the certainty of more flooding.

3) The proposed two-story structure is completely out of character with the other multi family residences on that side of Lake Edge Rd. The present units that on that side of the street are split level with large yards. The proposed development is more in line with those on the Lexington Street hill.

4) Access to the parking area to those 6 units would require driving in & out of an area currently used by McFarland Animal Hospital staff & customers. Semis, **18 wheelers, and other commercial vehicles also drive in & out of the road** to the **rear of the strip mall** (Dollar Store, Bisbee's, & the Pizza Hut).

5) **Semitrailer deliveries** to Walgreen's requires drivers to stop in front of this planned development and back into the parking lot, completely blocking the street. We hope you can envision the situation with 6 more family units during winter snows **and** the plans for commercial development of the former BeachHouse Restaurant 1/2 block away. A proposed bike path through McFarland adds to concerns for safety.

6) The owner(s) of the present multi family properties on Lake Edge have always been attentive to the condition of the properties with building maintenance, lawn care, & tenant screening. The disregard for appearance and safety the owners of 5611 Lake Edge property have shown (from building condemnation through last summer's weeds), makes us wary they would show such attention.

Lake Edge Road has always been a "pedestrian favorite" for joggers, strollers & folks seeking a walk from Bremer Rd. to shops & restaurants on Farwell Street.

Thank you for any consideration.

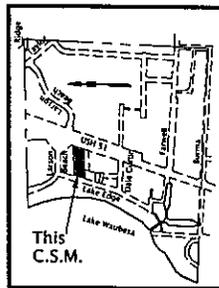
Stuart & Bonnie Allbaugh  
5622 Lake Edge Rd.

# CERTIFIED SURVEY MAP

DESCRIPTION:  
 LOTS ONE (1) AND TWO (2), CERTIFIED SURVEY MAP NO. 4586, RECORDED IN VOLUME 20 OF CERTIFIED SURVEYS, PAGE 97 AND 98, AS DOCUMENT NO. 1867607, LOCATED IN THE VILLAGE OF MCFARLAND, DANE COUNTY, WISCONSIN.

NORTH 1/4 CORNER OF SECTION 3, T6N, R10E ALUMINUM MONUMENT  
 WI STATE PLANE N:372,057.33  
 COORDINATE SYSTEM E:2,156,717.34  
 SOUTH ZONE

CENTER OF SECTION 3 T6N, R10E, ALUMINUM MONUMENT  
 WI STATE PLANE N: 367,120.54  
 COORDINATE SYSTEM E: 2,156,508.62  
 SOUTH ZONE



Location Map: Not to scale

BEARINGS ARE BASED ON THE STATE PLANE COORDINATE SYSTEM, WISCONSIN SOUTH ZONE



**LEGEND**

- 3/4" SOLID IRON ROD FOUND
- ⊙ 1" Diam. IRON PIPE FOUND
- 3/4"x18" SOLID IRON ROD SET 1.13 Lbs./LINEAL FOOT.
- ( ) INDICATES RECORDED AS DISTANCES ARE MEASURED TO THE NEAREST HUNDREDTH OF A FOOT.

**SURVEYED BY:**  
 ISTHMUS SURVEYING, LLC  
 450 NORTH BALDWIN STREET  
 MADISON, WI 53703  
 (608) 244.1090  
 www.isthmussurveying.com

**SURVEYED FOR:**  
 PROFESSIONAL ENGINEERING, LLC  
 818 N. MEADOWBROOK LANE  
 WAUNAKEE, WI 53597  
 (608) 849.9378

**DEVELOPER/OWNER:**  
 SPARTAN PROPERTIES OF MCFARLAND LLC  
 PO BOX 229  
 MCFARLAND, WI 53558

NON-EXCLUSIVE UTILITY EASEMENT DEDICATION

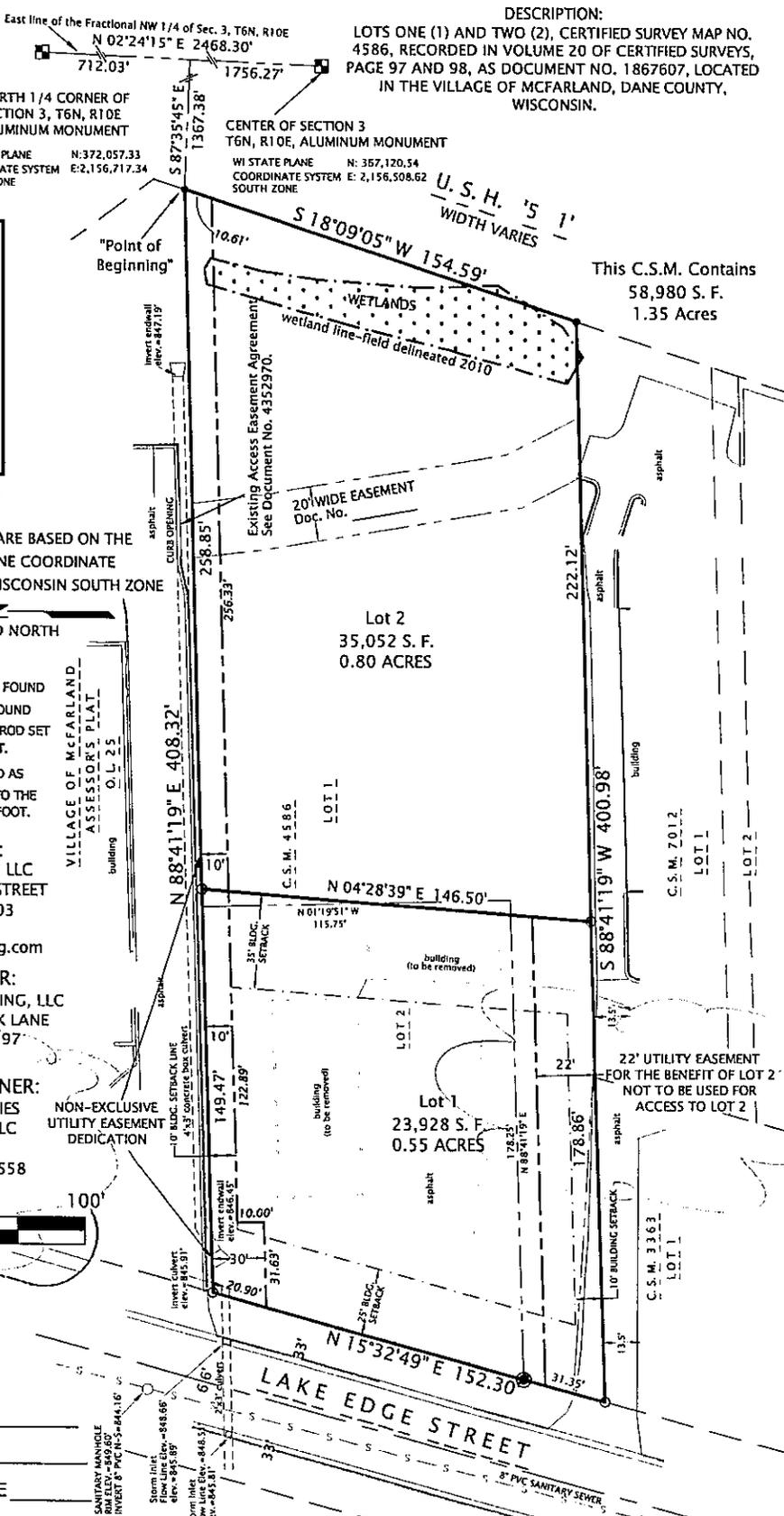


MAP NO. \_\_\_\_\_  
 DOCUMENT NO. \_\_\_\_\_  
 VOLUME \_\_\_\_\_ PAGE \_\_\_\_\_

SAWNEY MANHOLE  
 RIM ELEV. = 849.60'  
 INVERT 8" PVC N-5 = 844.16'

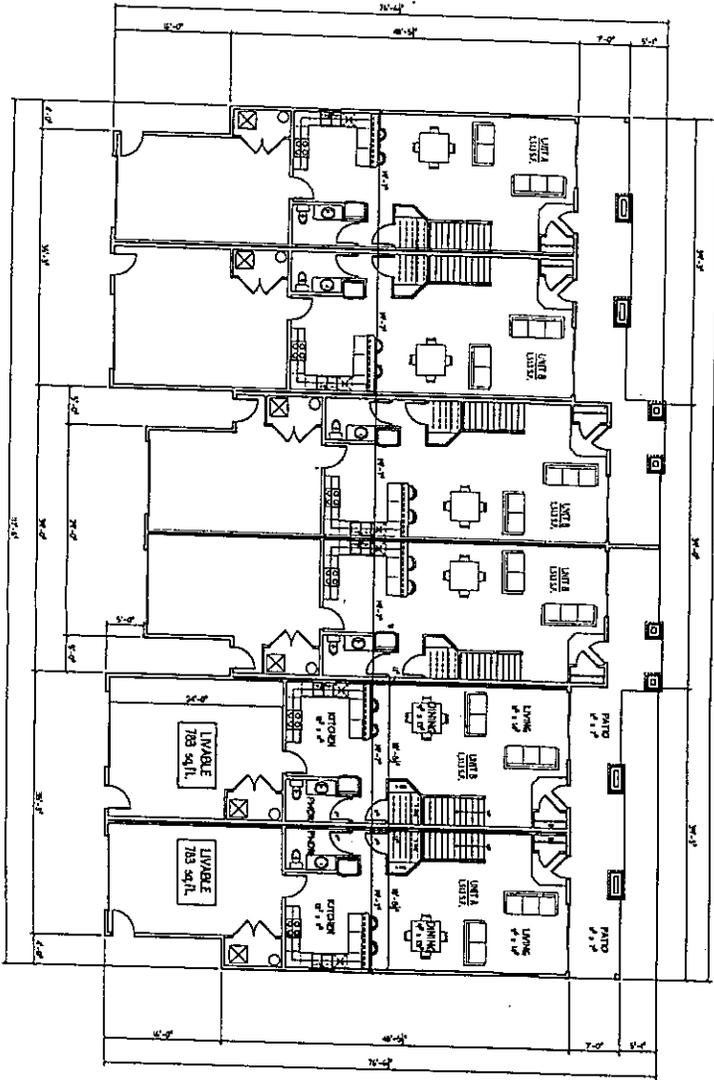
Storm Inlet  
 Flow Line Elev. = 848.86'  
 elev. = 845.89'

Storm Inlet  
 Flow Line Elev. = 848.53'  
 elev. = 843.51'



RECEIVED  
 NOV 18 2015  
 VILLAGE OF MCFARLAND



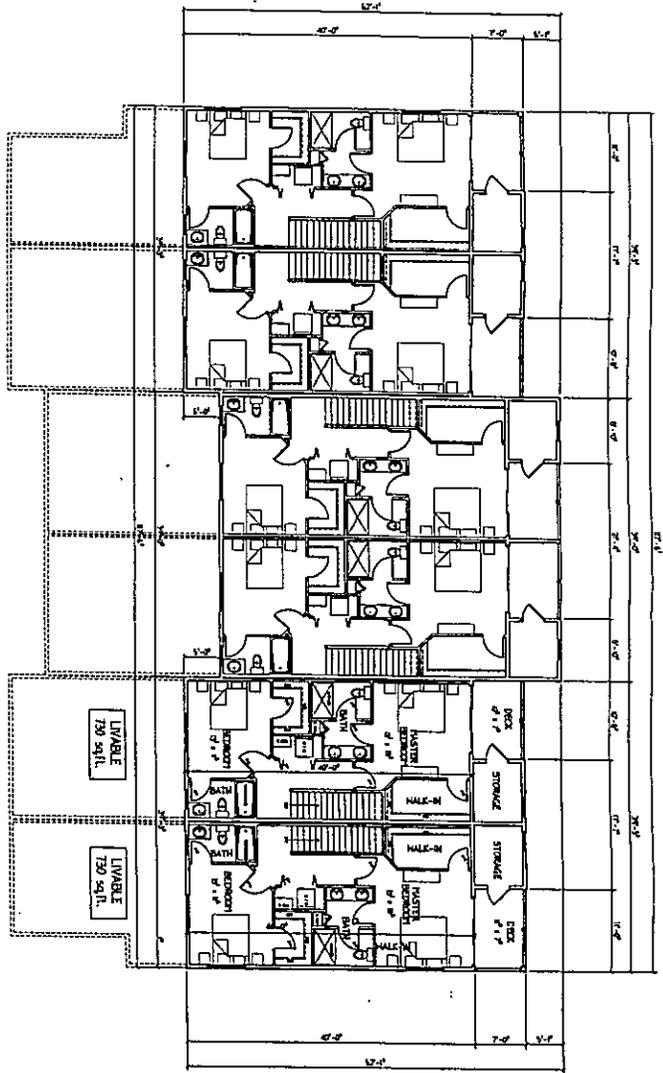



**First Level Floor Plan**  
 SCALE - 1/8" = 1'-0"

Total Bldg. Area = 8,180 sq. ft.  
 Incl. Bldg. Area = 7,318 sq. ft.

07D

 <b>AVENUE</b> Architects, Inc.	516 Sunline Drive, Suite 101 First Office Bldg. 1027 Spring Creek, WI 53238 Phone: 408-388-4481 Fax: 408-388-2387	<b>5611 Lake Edge Road</b> <b>McFarland, Wisconsin</b>	Contract No. 03-16-2011 03-16-2011	Drawing Name: Floor Plans Option B	1027 A-1.0
	<small>         This drawing is the property of Avenue Architects, Inc. and is not to be used, copied, or reproduced in any form without the written consent of Avenue Architects, Inc. The information contained herein is for the sole use of the client and is not to be used for any other purpose.       </small>				




**Second Level Floor Plan**  
 SCALE: 1/8" = 1'-0"  
 FND. SQ. FT. AREA = 5,074 SQ. FT.

0210

 <b>AVENUE</b> Architects, Inc.	350 Sunrise Drive, Suite 100 Spring Green, WI 53588 Phone: (608) 585-2011 Fax: (608) 585-2582	<b>5611 Lake Edge Road</b> <b>McFarland, Wisconsin</b>	Computer File Number: <b>03-16-2011</b>	Drawing Title: <b>Floor Plans</b> <b>Option B</b>	Project No.: <b>1027</b>	Scale: <b>A-1:1</b>
	<small>           This drawing is the property of Avenue Architects, Inc. and is not to be used, copied, or reproduced in any form without the written consent of Avenue Architects, Inc. The user of this drawing assumes all liability for any errors or omissions.         </small>					

# DIMENSION IV

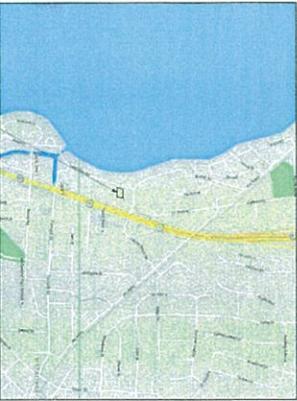
Madison Design Group  
 architecture · engineering · interior design  
 6515 Grand Teton Plaza, Suite 120, Madison, Wisconsin 53719  
 608.829.4444 608.829.4445 [dimensionivmadison.com](http://dimensionivmadison.com)

## Lake Edge Road Townhomes

5611 LAKE EDGE ROAD  
 MCFARLAND, WI 53558



RENDERING IS REPRESENTATIVE ONLY - SEE DOCUMENTS FOR ALL BUILDING INFORMATION  
 PROJECT RENDERING/PERSPECTIVE/ELEVATION



PROJECT LOCATION

1 AREA MAP

### Architecture :

### Structural Engineering:

### Civil Engineering:

**Dimension IV - Madison Design Group**

6515 Grand Teton Plaza, Suite 120, Madison, WI 53719  
 p: 608.829.4444 [www.dimensionivmadison.com](http://www.dimensionivmadison.com)

### Cold Spring Design

222 South Main Street, Fort Atkinson, WI 53538  
 p: 920.568.9530 [www.coldspringdesign.com](http://www.coldspringdesign.com)

### Professional Engineering

818 Meadowbrook Ln, Waunakee, WI 53597  
 p: 608-849-9378 [www.pe-wi.com](http://www.pe-wi.com)

### PROJECT BUILDING DATA

RENDERING IS REPRESENTATIVE ONLY - SEE DOCUMENTS FOR ALL BUILDING INFORMATION

GROSS BUILDING AREA	
GARAGE	2498 SF
FIRST FLOOR	2862 SF
	5458 SF
SECOND FLOOR	4271 SF
TOTAL	9729 SF

### LIST OF DRAWINGS

- GENERAL
- 06.1 COVER SHEET
- 06.2 SITE PLAN
- CIVIL
- C-1 SITE PLAN
- C-20 GRADING PLAN
- C-21 GRADING PLAN
- C-30 UTILITY PLAN
- C-40 EROSION CONTROL PLAN
- STRUCTURAL
- S1.0 FOOTING AND FOUNDATION PLAN
- LANDSCAPE
- L1.0 LANDSCAPE PLAN
- ARCHITECTURAL
- A1.1 FIRST FLOOR PLAN
- A1.2 SECOND FLOOR PLAN
- A2.0 EXTENSION ELEVATIONS
- A2.1 EXTENSION ELEVATION 1&4
- A3.0 PERSPECTIVE VIEW
- A5.0 BUILDING SECTIONS
- A5.1 TWO STORY UNIT PLAN
- A5.1 SINGLE STORY UNIT PLANS

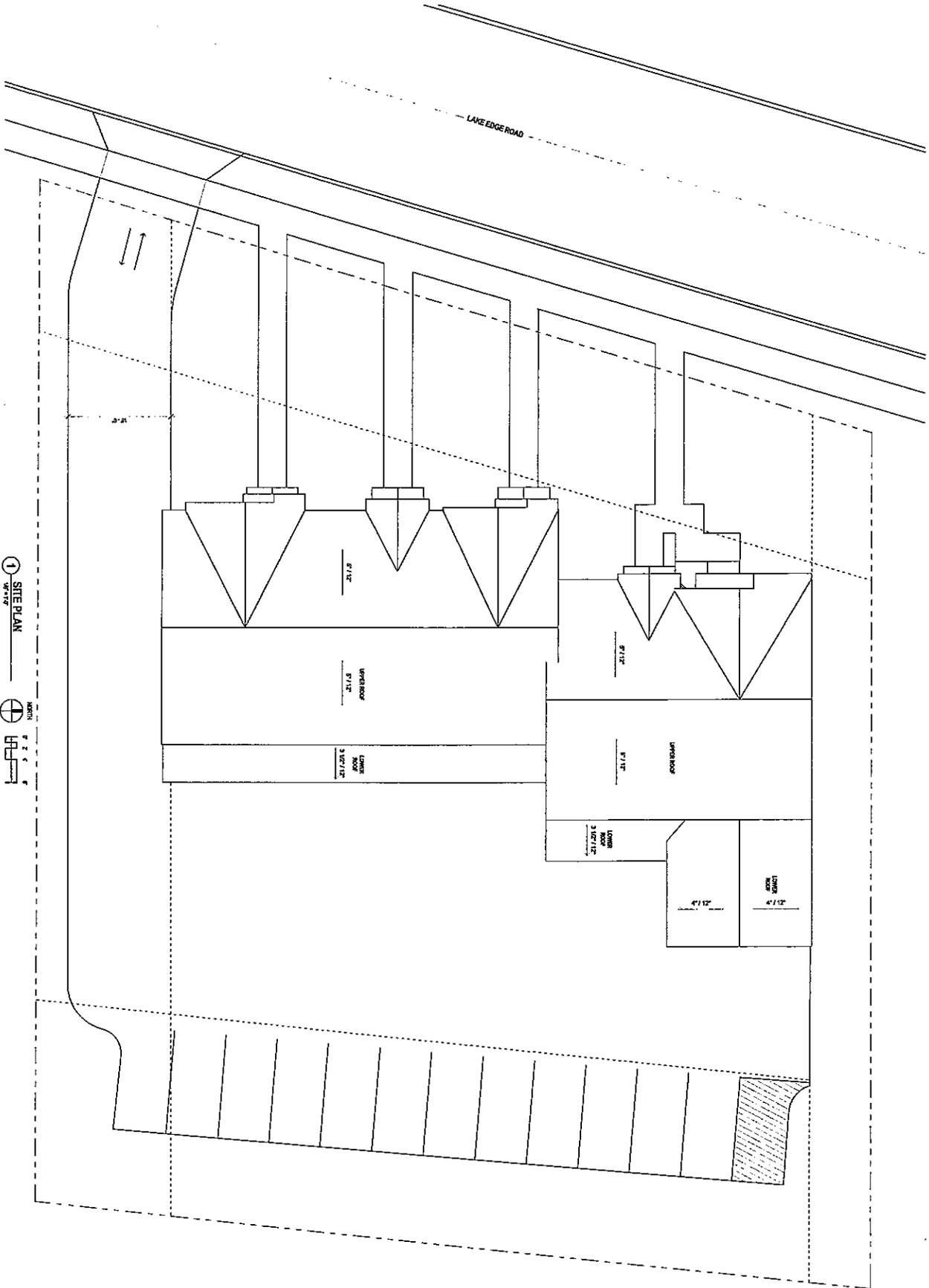
**RECEIVED**  
 DEC 15 2015  
 VILLAGE OF MCFARLAND

PROJECT # 14155

PLAN COMMISSION

12/14/2015

GO.1



① SITE PLAN  
 NORTH  
 1" = 10' 0"

**DIMENSION**  
 Architecture - engineering - interior design - landscape architecture

615 Grand View Park, Suite 120  
 Boston, Wisconsin 53019  
 phone: 262.444.8824 fax: 262.444.8824  
 dimensiohond.com

Lake Edge Road  
 Townhomes  
 8011 LAKE EDGE ROAD  
 MOHARLANO, WI 53558

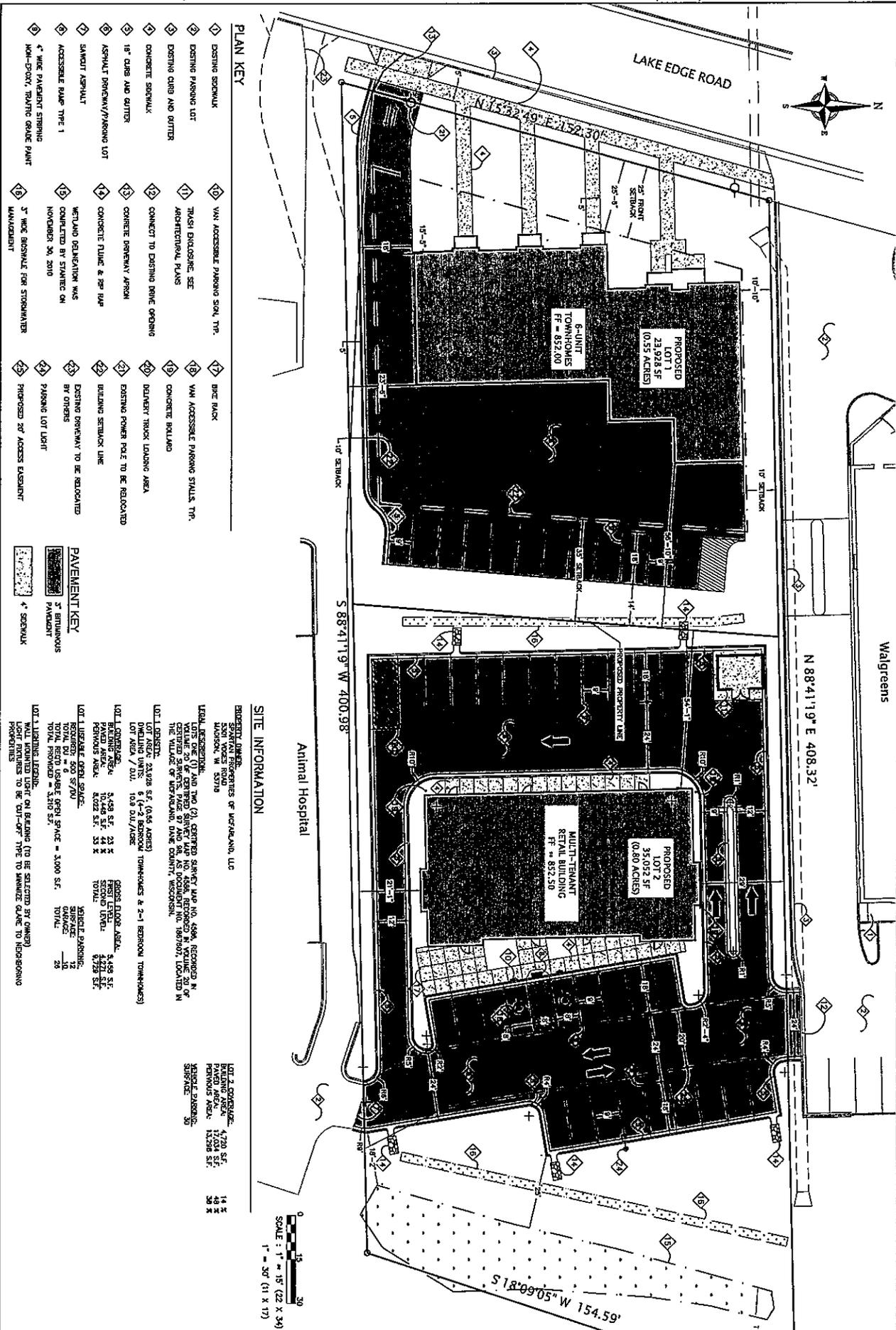
DATE OF ISSUE: 12/14/2015

**PRELIMINARY**  
 NOT FOR  
 CONSTRUCTION

PROJECT # 14185

SITE PLAN

**GO.2**



- PLAN KEY**
- ① EXISTING SIDEWALK
  - ② EXISTING PARKING LOT
  - ③ EXISTING CURB AND GUTTER
  - ④ CONCRETE SIDEWALK
  - ⑤ 18" CURB AND GUTTER
  - ⑥ ASPHALT DRIVEWAY/PARKING LOT
  - ⑦ SANDLOT ASPHALT
  - ⑧ ACCESSIBLE PAUP TYPE 1
  - ⑨ 4" WIDE PAVEMENT STRIPING
  - ⑩ NON-CURB, TYPING GRADE PLANT
  - ⑪ VAN ACCESSIBLE PARKING SIGN, TR.
  - ⑫ TRASH ENCLOSURE, SEE ARCHITECTURAL PLANS
  - ⑬ CONNECT TO EXISTING DRIVE OPENING
  - ⑭ CONCRETE DRIVEWAY ASPHON
  - ⑮ CONCRETE FILING & 8" PIP
  - ⑯ WETLAND DEMARKATION WAS COMPLETED BY STARTER ON NOVEMBER 20, 2010
  - ⑰ 3" WIDE BROWSLINE FOR STORMWATER MANAGEMENT
  - ⑱ BEE FLAG
  - ⑲ VAN ACCESSIBLE PARKING STALLS, TR.
  - ⑳ CONCRETE BUILDING
  - ㉑ DELIVERY TRUCK LOADING AREA
  - ㉒ EXISTING POWER POLE TO BE RELOCATED
  - ㉓ EXISTING SETBACK LINE
  - ㉔ EXISTING DRIVEWAY TO BE RELOCATED BY OTHERS
  - ㉕ PARKING LOT LIGHT
  - ㉖ PROPOSED 20' ACCESS EASIMENT

- PAVEMENT KEY**
- ① 3" BITUMINOUS PAVEMENT
  - ② 4" SIDEWALK

**SITE INFORMATION**

**PROPOSED LOTS:**  
 LOT 1: 23,928 SF (0.55 ACRES)  
 LOT 2: 35,052 SF (0.80 ACRES)

**EXISTING BUILDING:**  
 MULTI-TENANT RETAIL BUILDING  
 FF = 852,50

**EXISTING LOT 1:**  
 6-UNIT TOWNHOMES  
 FF = 852,00

**LOT 1 DENSITIES:**  
 LOT AREA: 23,928 SF (0.55 ACRES)  
 UNITING UNITS: 6 (4-2 BEDROOM TOWNHOMES & 2-1 BEDROOM TOWNHOMES)  
 UNIT AREA / UNIT: 169 SQ.FT./UNIT

**LOT 2 DENSITIES:**  
 LOT AREA: 35,052 SF (0.80 ACRES)  
 UNITING UNITS: 14 (7-2 BEDROOM TOWNHOMES & 7-1 BEDROOM TOWNHOMES)  
 UNIT AREA / UNIT: 179 SQ.FT./UNIT

**LOT 1 UTILITIES:**  
 5.429 SF, 23 X  
 10,448 SF, 44 X  
 6,022 SF, 33 X  
 TOTAL: 21,899 SF, 100 X

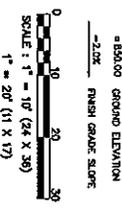
**LOT 2 UTILITIES:**  
 5,429 SF, 23 X  
 10,448 SF, 44 X  
 6,022 SF, 33 X  
 TOTAL: 21,899 SF, 100 X

**LOT 1 LIGHTING LEZARD:**  
 WALL MOUNTED LIGHT ON BEARING (TO BE SELECTED BY OWNER)  
 TOTAL HEIGHT TO BE 30'-0" TYPE TO BE APPROVED TO INCORPORATE PROPERTIES

**LOT 2 CONCRETE:**  
 FINISH AREA: 7,720 SF.  
 PAVED AREA: 17,024 SF.  
 PERIMETER AREA: 12,328 SF.  
 TOTAL: 37,072 SF.

**VEHICLE PARKING:**  
 SURFACE: 12  
 TOTAL: 28

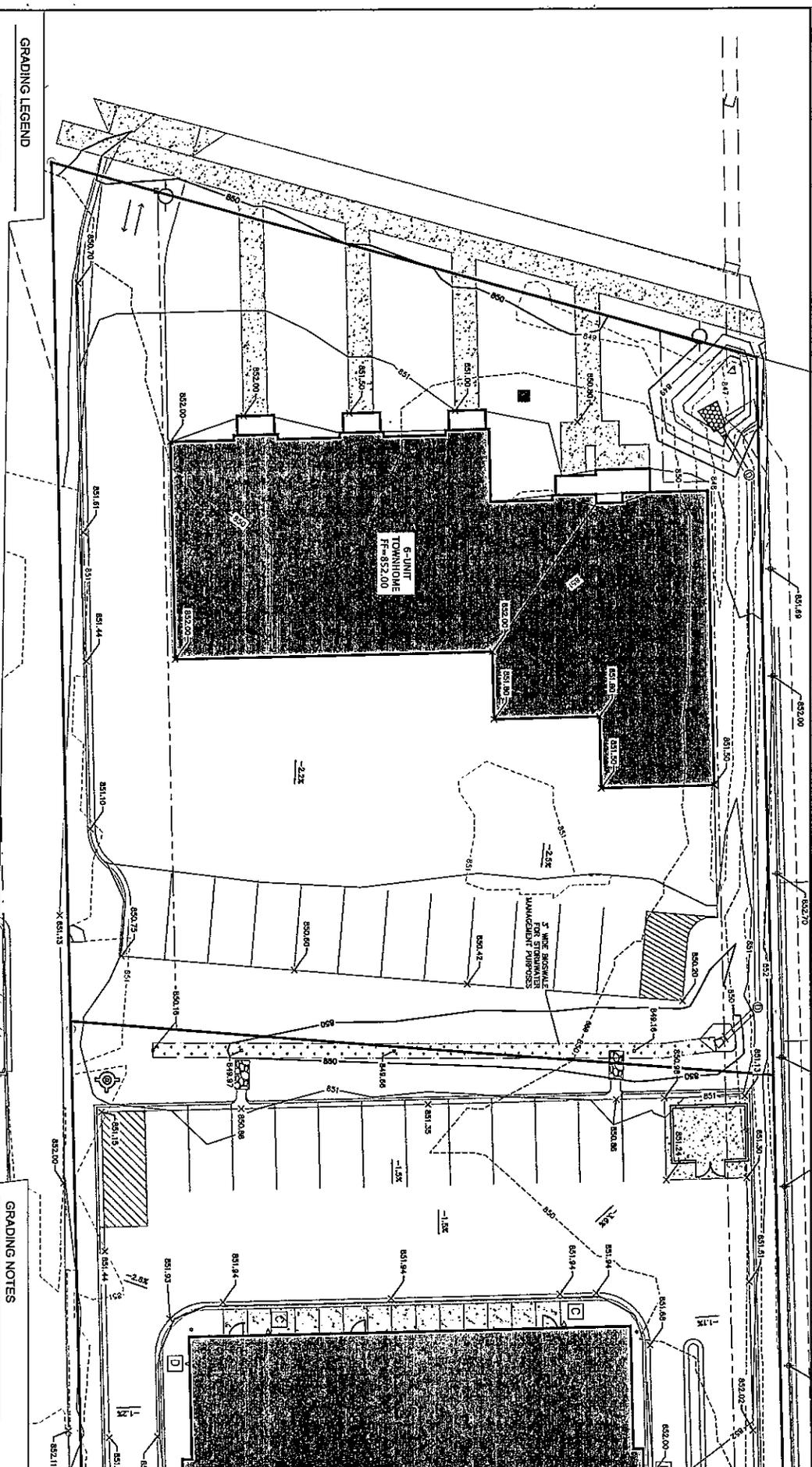
**LOT 1 LIGHTING LEZARD:**  
 WALL MOUNTED LIGHT ON BEARING (TO BE SELECTED BY OWNER)  
 TOTAL HEIGHT TO BE 30'-0" TYPE TO BE APPROVED TO INCORPORATE PROPERTIES



**GRADING LEGEND**

- EXISTING CONTOUR
- PROPOSED CONTOUR
- X 850.00 PAVEMENT ELEVATION
- + 850.00 BACK OF CURB ELEVATION
- = 850.00 GROUND ELEVATION
- 2.5% FINISH GRADE SLOPE

**1 GRADING PLAN**  
 C-2.1 SCALE: 1" = 10'-0" (24X36)  
 NORTH



**GRADING NOTES**

1. CONTRACTOR SHALL CALL DIMERS HOTLINE PRIOR TO ANY CONSTRUCTION.
- UTILITIES MARKED BY DIMERS HOTLINE INCLUDE:
  - WATER MAINS
  - SANITARY SEWER
  - MEDIUM VOLT & ELECTRIC
  - GAS
  - CABLE
  - FIBER OPTIC
  - TELEPHONE
2. ALL EXISTING PAVEMENT AND STONE SEWER SHALL BE MAINTAINED AND PROTECTED TO ALLOW FOR PROPER DRAINAGE.
3. CONTOUR AND SPOT ELEVATIONS SHOWN ARE FINISH GRADE ELEVATIONS.
4. ALL LAWN AND PLANTING AREAS WHICH HAVE BEEN COMPLETED DUE TO CONSTRUCTION SHALL BE LOOSENEED PRIOR TO ADDITION OF TOPSOIL.

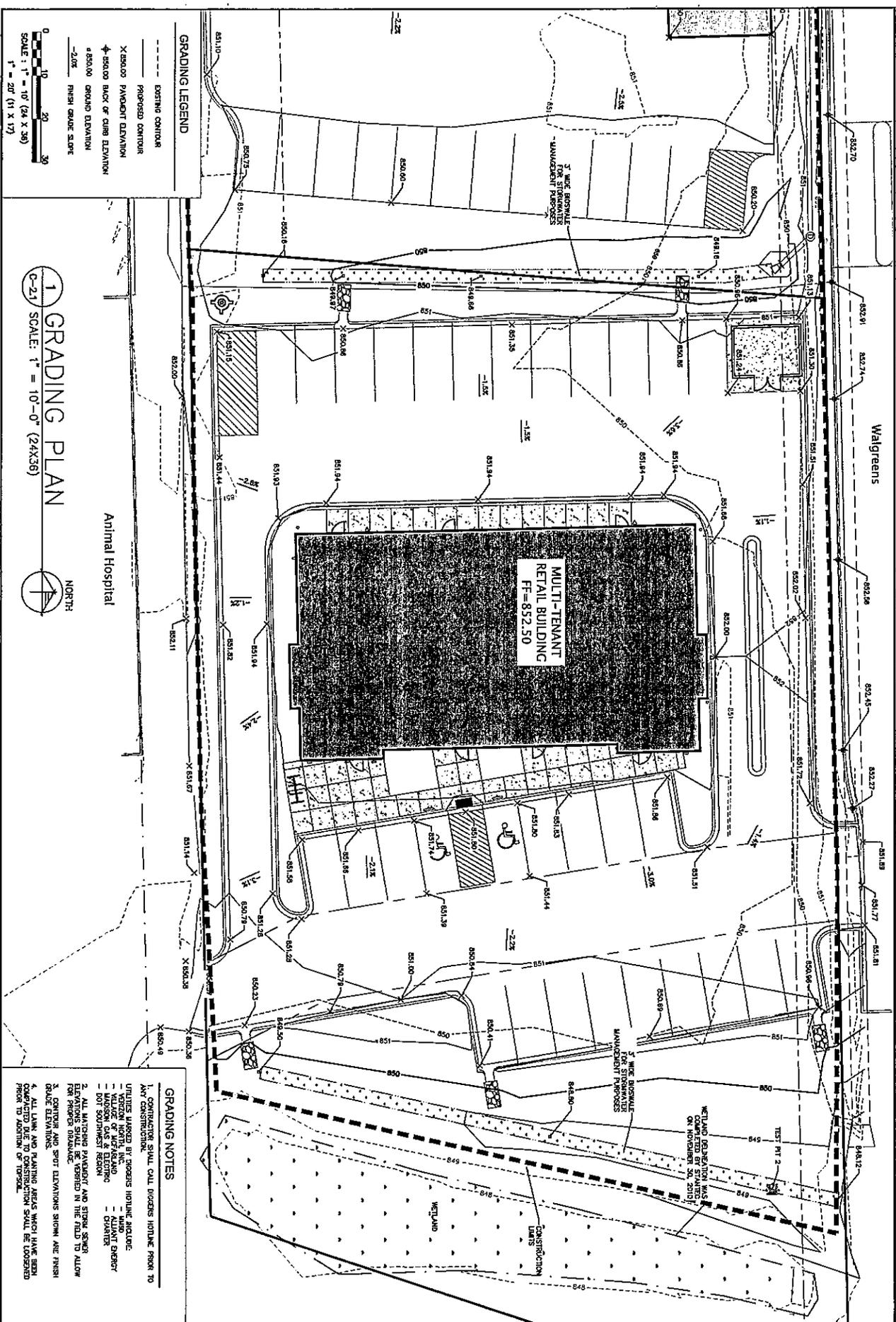
**5611 & 5613 LAKE EDGE ROAD**  
**GRADING PLAN**  
 MCFARLAND, WISCONSIN



618 N Meadowbrook Ln  
 Waunakee, WI 53597  
 phone (608) 849-9378  
 fax (608) 237-2129

ISSUANCE/REVISION	DATE
STORMWATER PLAN	11/25/15

C-2.0



**GRADING LEGEND**

- - - - EXISTING CONTOUR
- - - - PROPOSED CONTOUR
- X 850.00 FINISHED ELEVATION
- ⊕ 850.00 BACK OF CURB ELEVATION
- 850.00 GROUND ELEVATION
- 2.0% FINISH GRADE SLOPE

SCALE: 1" = 10' (24 X 36)  
1" = 20' (11 X 17)

**1 GRADING PLAN**  
SCALE: 1" = 10'-0" (24X36)



Animal Hospital

MULTI-TENANT  
RETAIL BUILDING  
FF=852.50

**GRADING NOTES**

1. CONTRACTOR SHALL CALL DIGGERS HOTLINE PRIOR TO ANY CONSTRUCTION.
- UTILITIES MARKED BY DIGGER HOTLINE INCLUDE:
  - WATER MAINS
  - SINK
  - MANSION GAS & ELECTRIC
  - SANITARY
  - POT SOUTHWEST CORNER
2. ALL WALKING PAVEMENT AND STORM SEWER ALLOW FOR FINISH ELEVATION.
3. CENTER AND SPOT ELEVATIONS SHOWN ARE FINISH GRADE ELEVATIONS.
4. ALL LAWN AND PLANTING AREAS SHALL BE CONFINED TO CONSTRUCTION PRIOR TO CONSTRUCTION.
5. PRIOR TO ADDITION OF TOPSOIL.

**5611 & 5613 LAKE EDGE ROAD**  
**GRADING PLAN**  
MCFARLAND, WISCONSIN

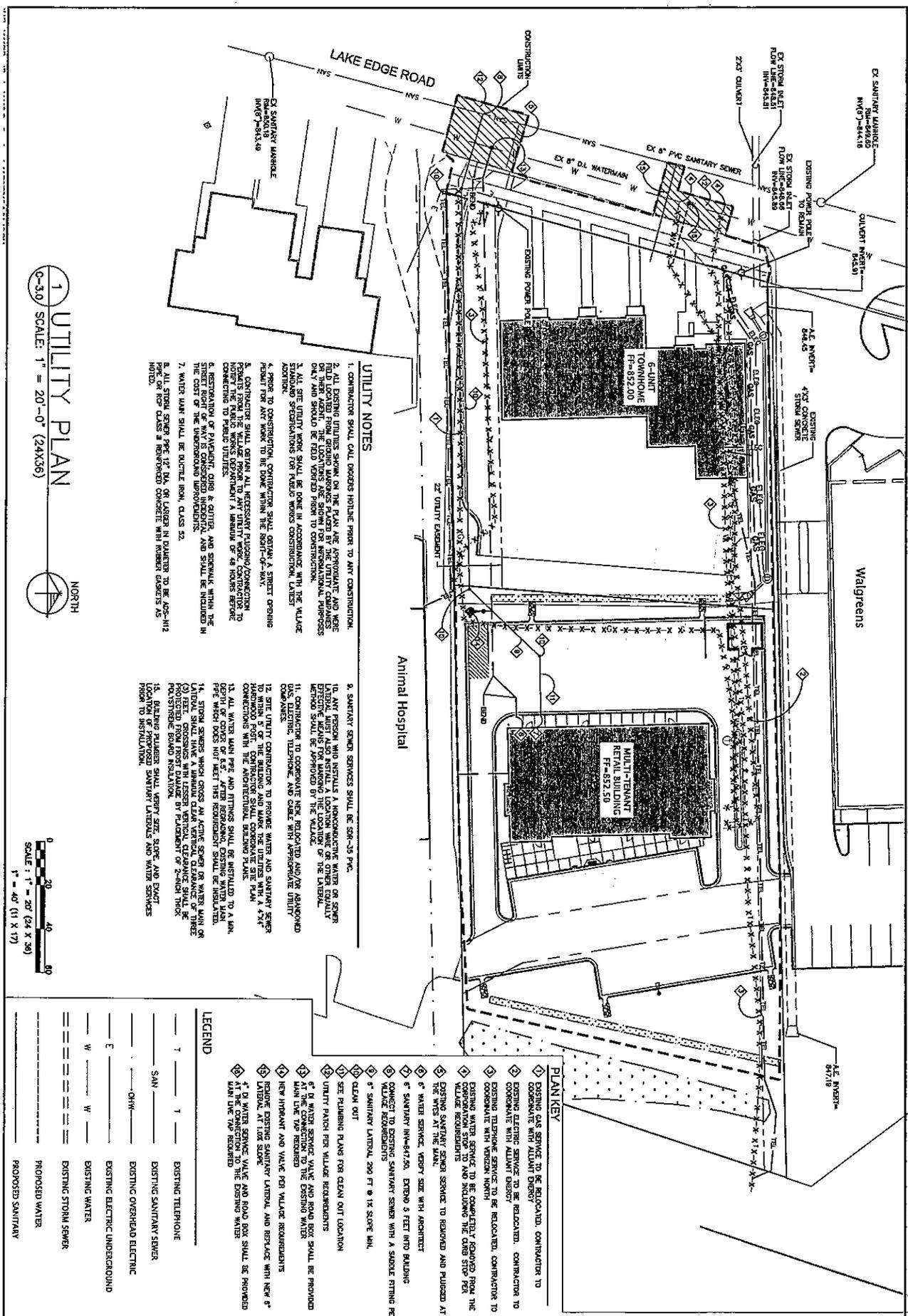


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C-2.1





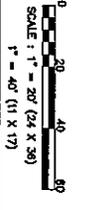
- ### UTILITY NOTES
- CONTRACTOR SHALL OVAL DIGGERS HOLLOW PRIOR TO ANY CONSTRUCTION.
  - ALL EXISTING UTILITIES SHOWN ON THE PLAN ARE APPROXIMATE AND WERE FIELD LOCATED FROM GROUND MARKERS PLACED BY THE UTILITY COMPANIES. ONLY THE SHOWN LOCATIONS ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY. THIS SHOULD BE USED AS A GUIDE ONLY FOR INFORMATIONAL PURPOSES ONLY.
  - ALL SET UTILITIES SHALL BE SET IN ACCORDANCE WITH THE VILLAGE STANDARD SPECIFICATIONS FOR UNDERGROUND CONSTRUCTION, WITH THE FOLLOWING ADDITIONS:
    - PRIOR TO CONSTRUCTION, CONTRACTOR SHALL OBTAIN A STREET CLOSURE PERMIT FOR ANY WORK TO BE DONE WITHIN THE RIGHT-OF-WAY.
    - CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS/CONNECTIONS FROM THE VILLAGE PRIOR TO ANY UTILITY WORK. CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS/CONNECTIONS FROM THE VILLAGE PRIOR TO ANY UTILITY WORK.
    - RESURFACING OF PAVED, CURB & GUTTER, AND SIDEWALK WITHIN THE STREET RIGHT OF WAY IS CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE COST OF THE UNDERGROUND IMPROVEMENTS.
    - WATER MAIN SHALL BE DUCTILE IRON, CLASS 52.
    - ALL STORM SEWER PIPE 12" DIA. OR LARGER IN DIAMETER TO BE AOS-HI2 PIPE OR RCP CLASS 3 REINFORCED CONCRETE WITH RUBBER GASKETS AS NOTED.

- SAINTARY SEWER SERVICES SHALL BE 30K-35 P.P.C.
- ANY PERSON WHO INSTALLS A NONCONFORMING WATER OR SEWER LATERAL MUST ALSO INSTALL A LOCATION WIRE OR OTHER EASILY LOCATED MARKER FOR MARKING THE LOCATION OF THE LATERAL. BEFORE WORK SHALL BE PERFORMED BY THE VILLAGE.
- CONTRACTOR TO CORRECT NEW, RELOCATED AND/OR REABANDONED LATERALS, TELEPHONE, AND OTHER UTILITIES WITHIN THE UTILITY CONDUIT.
- CONTRACTOR TO PROVIDE WATER AND SAINTARY SEWER TO WITHIN 5' OF THE BUILDING AND MARK THE UTILITIES WITH A 3"x4" CONCRETE POST. THE CONTRACTOR SHALL CORRECT THE SITE FROM THE CONSTRUCTION POST.
- STORM SEWERS WHICH CROSS AN ACTIVE SEWER OR WATER MAIN OR OTHER UTILITY SHALL BE INSTALLED WITH A MINIMUM CLEARANCE OF THREE FEET FROM THE TOP OF THE EXISTING UTILITY. THE EXISTING UTILITY SHALL BE PROTECTED BY POLYSTYRENE BOARD INSULATION.
- BUILDING PLUMBERS SHALL VERIFY SIZE, SLOPE, AND EXACT LOCATION OF PROPOSED SAINTARY LATERALS AND WATER SERVICES FROM TO INSULATION.

- ### PLAN KEY
- ◇ EXISTING GAS SERVICE TO BE RELOCATED, CONTRACTOR TO COORDINATE WITH ALLIANT ENERGY
  - ◇ EXISTING ELECTRIC SERVICE TO BE RELOCATED, CONTRACTOR TO COORDINATE WITH ALLIANT ENERGY
  - ◇ EXISTING TELEPHONE SERVICE TO BE RELOCATED, CONTRACTOR TO COORDINATE WITH VERIZON NORTH
  - ◇ EXISTING WATER SERVICE TO BE RELOCATED, CONTRACTOR TO COORDINATE WITH VERIZON NORTH
  - ◇ EXISTING WATER SERVICE TO BE COMPLETELY REMOVED FROM THE VILLAGE REQUIREMENTS
  - ◇ EXISTING SAINTARY SEWER SERVICE TO BE REMOVED AND PLACED AT THE WYS AT THE BANK.
  - ◇ 6" WATER SERVICE, VERIFY SIZE WITH ARCHITECT
  - ◇ 6" SAINTARY INV-641750, EXTEND 5 FEET INTO BUILDING
  - ◇ CONNECT TO EXISTING SAINTARY SEWER WITH A SMOOTH FITTING PER VILLAGE REQUIREMENTS
  - ◇ 6" SAINTARY LATERAL, 200 FT @ 1% SLOPE MIN.
  - ◇ CLEAN OUT
  - ◇ SET PLUMBING PLANS FOR CLEAN OUT LOCATION
  - ◇ 1" WATER SERVICE, VALVE AND ROAD BOX SHALL BE PROVIDED
  - ◇ UTILITY PATCH PER VILLAGE REQUIREMENTS
  - ◇ NEW INDIANT AND VALVE PER VILLAGE REQUIREMENTS
  - ◇ REMOVE EXISTING SAINTARY LATERAL AND REPLACE WITH NEW 6" LATERAL AT 10% SLOPE
  - ◇ 4" DI WATER SERVICE VALVE AND ROAD BOX SHALL BE PROVIDED AT THE CONNECTION TO THE EXISTING WATER MAIN LINE TAP REQUIRED

- ### LEGEND
- T — EXISTING TELEPHONE
  - SAN — EXISTING SAINTARY SEWER
  - OHW — EXISTING OVERHEAD ELECTRIC
  - E — EXISTING ELECTRIC UNDERGROUND
  - W — EXISTING WATER
  - S — EXISTING STORM SEWER
  - P — PROPOSED WATER
  - S — PROPOSED SAINTARY

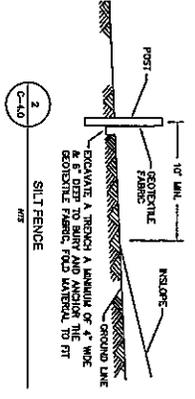
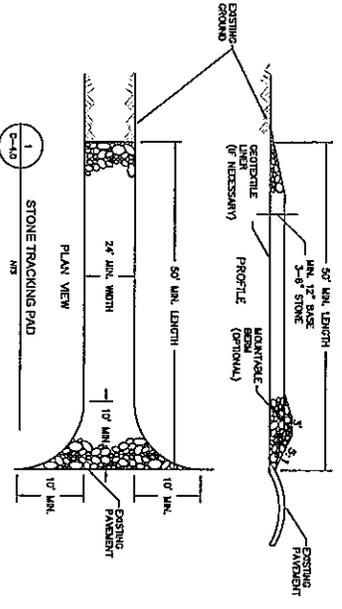
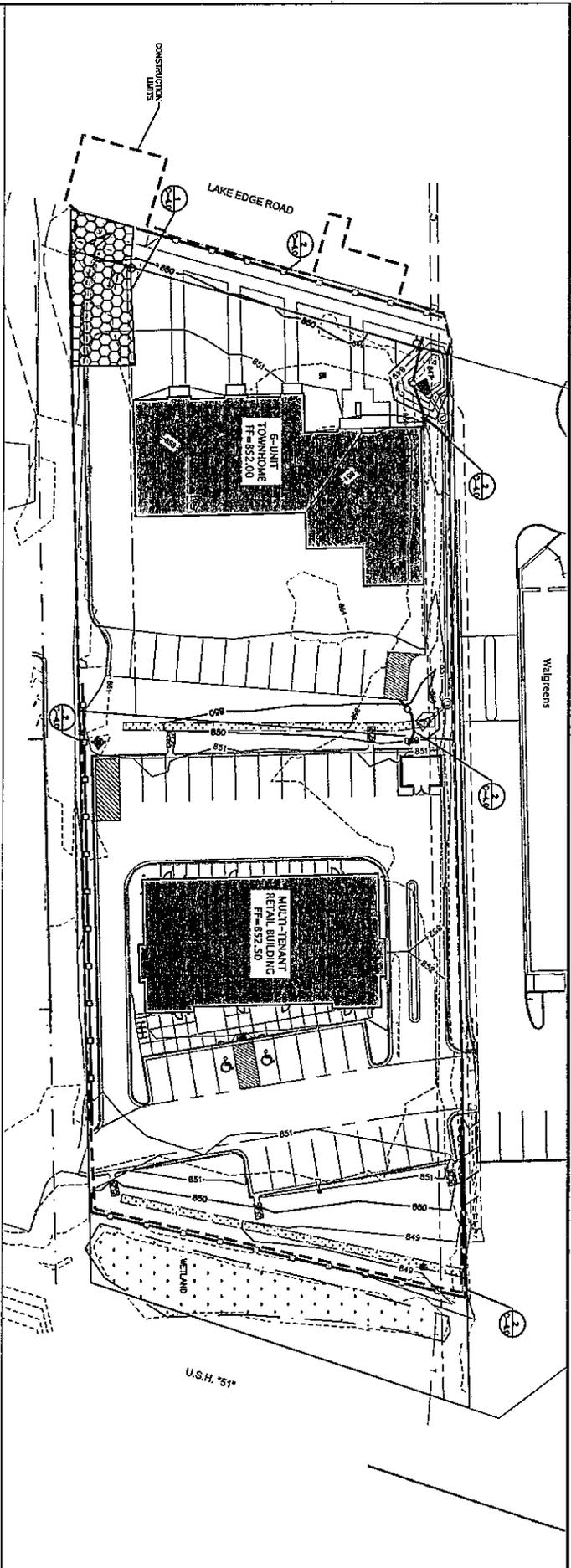
1 UTILITY PLAN  
 C-3.0 SCALE: 1" = 20'-0" (24X36)



5611 & 5613 LAKE EDGE ROAD  
 UTILITY PLAN  
 MCFARLAND, WISCONSIN

**PROFESSIONAL ENGINEERING**  
 818 N Meadowbrook Ln  
 Waunakee, WI 53597  
 phone (608) 849-9378  
 fax (608) 237-2129

ISSUANCE/REVISION	DATE
STORMWATER PLAN	11/25/13

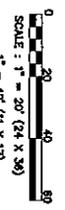


**EROSION CONTROL NOTES**

- (1) THE CONTRACTOR SHALL MAINTAIN AND DISTURBANCE CONTROL MEASURES FROM THE START OF LAND DISTURBING CONSTRUCTION THROUGH THE FINAL STABILIZATION OF THE CONSTRUCTION SITE.
- (2) ALL EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE WEATHER DOMINANCE AND THE DATE MAINTAIN EROSION CONTROL MEASURES TO PREVENT ADDITIONAL EROSION CONTROL MEASURES AS CONDITIONS WORSENI.
- (3) CLEANING, REPAIR-OF-ANY SURFACES SHALL BE IMMEDIATELY COMPLETED BEFORE THE END OF EACH WORKING DAY.
- (4) RESTORATION, RESTORATION SHALL BE COMPLETED AS NOTED BY THE CITY.
- (5) INSPECTION, THE CONTRACTOR SHALL NOTIFY EROSION AND SEDIMENT CONTROL PRACTICES WEEKLY, AND WITHIN 24 HOURS FOLLOWING A RAINFALL OF 0.5 INCHES OR GREATER. THE TIME, DATE AND LOCATION OF INSPECTION, THE PHASE OF LAND DISTURBANCE AT THE CONSTRUCTION SITE, PERSON CONDUCTING INSPECTION AND ANY EROSION OR SEDIMENT CONTROL MEASURE INSTALLATION.
- (6) STONE TRACKING PAD, BEFORE BEGINNING CONSTRUCTION, CONTRACTOR SHALL INSTALL A STONE TRACKING PAD AT EACH DRIVEWAY AND DRIVE. STONE TRACKING PADS SHOULD BE AT LEAST 24 FEET WIDE AND 24 FEET LONG, AND CONSTRUCTED OF 3/4\"/>
- (7) SILENT PROTECTION, ALL INLETS SUBJECT TO BRUISE SHALL BE PROTECTED WITH A WICKSON DOT TYPE "T" ROAD SIGN OR OTHER MUTUAL EROSION CONTROL SYSTEM. SIGN SYSTEM SHALL BE PROMPTLY AND THOROUGHLY CLEANED OUT.
- (8) EROSION MAT, AREAS OR DEMONSTRATING HAVING STABILIZED WITH WICKSON DOT CLASS 1 TYPE E EROSION MAT.
- (9) TEMPORARY EROSION CONTROL, ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REPAIRED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
- (10) STABILIZATION, ALL DISTURBED AREAS SHALL BE SEEDS AND MULCHED AS SPECIFIED WITHIN 14 WORKING DAYS OF FINAL BREAKER.
- (11) TOPSOIL, A MINIMUM OF 2 INCHES OF TOPSOIL MUST BE APPLIED TO ALL AREAS TO BE SEEDS OR MULCHED.
- (12) SEEDING, SEED MIXTURE SHALL BE APPLIED AT A RATE OF 2 LBS PER 1000 SF OF AREA.
- (13) STOCKPILES, ANY SOIL STOCKPILES THAT REMAINS WITH STABILIZATION PRACTICES SUCH AS TEMPORARY OR PERMANENT SEEDING AND MULCHING.

**1 EROSION CONTROL PLAN**

C-4.0 SCALE: 1" = 20'-0" (24X36)



**5611 & 5613 LAKE EDGE ROAD**  
**EROSION CONTROL PLAN**  
 MCFARLAND, WISCONSIN

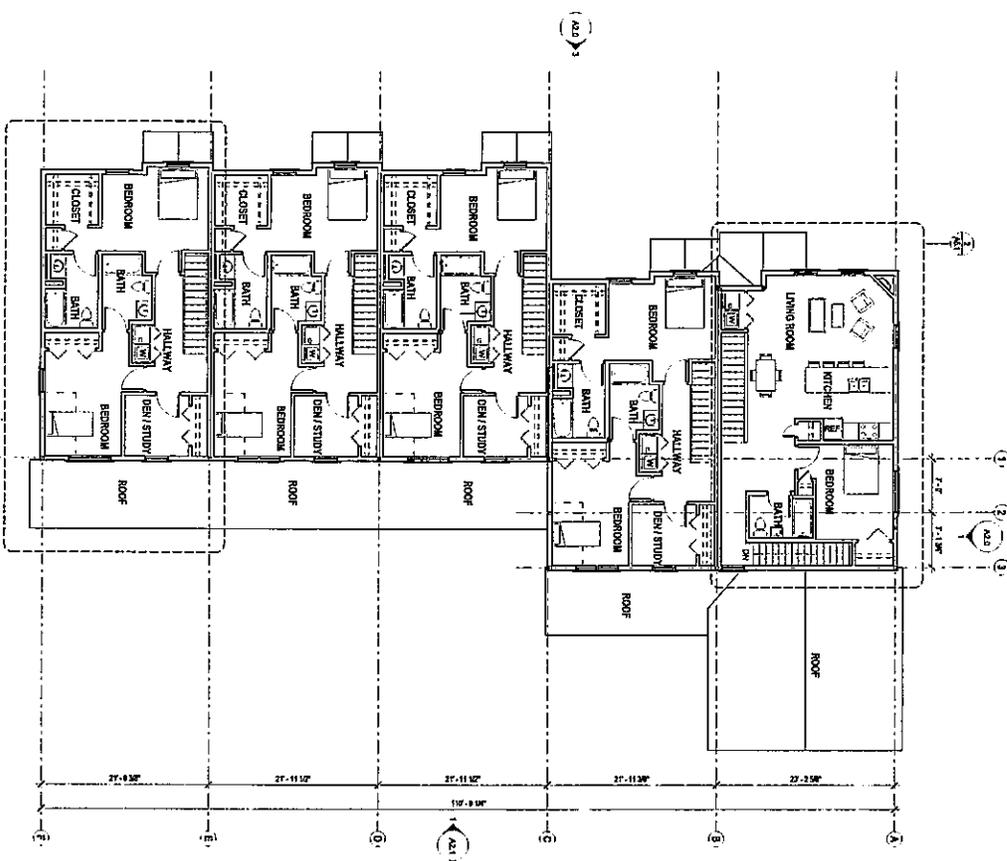


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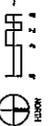
ISSUANCE/REVISION	DATE
STORMWATER PLAN	11/25/15







① SECOND FLOOR PLAN  
1/4\"/>



- FLOOR PLAN GENERAL NOTES**
1. SEE SHEET 1415-01 FOR GENERAL NOTES.
  2. ALL SHEET DIMENSIONS ARE IN FEET AND INCHES.
  3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
  4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
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  20. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

Lake Edge Road  
Townhomes  
5311 LAKE EDGE ROAD  
MCPHARLAND, WI 53558

**DIMENSION**  
 architects - engineering - interior design  
 6215 Grand View Plaza, Suite 120  
 Madison, Wisconsin 53719  
 608.252.4444 608.252.4445  
 dimension@dimension.com

DATE OF ISSUE: 12/14/2015  
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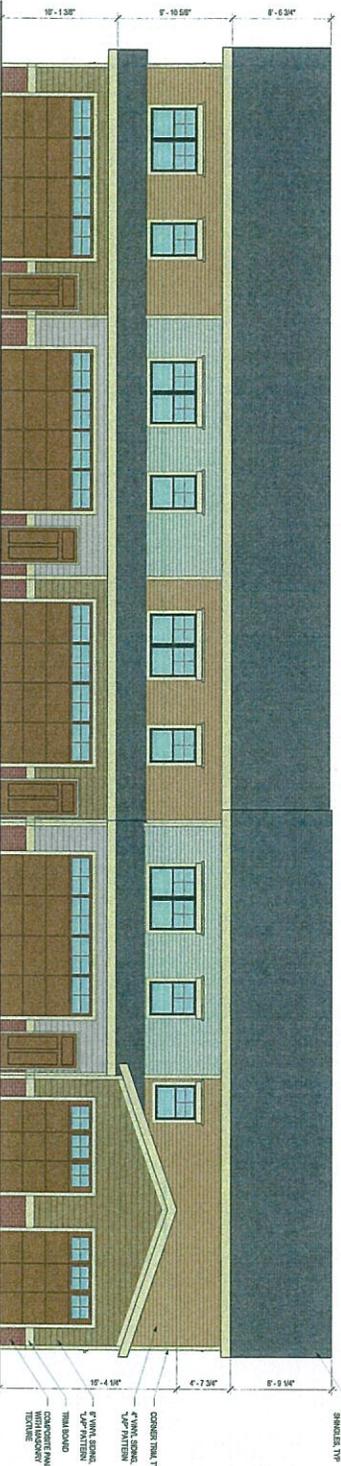
PROJECT # 14155  
 SECOND FLOOR  
 PLAN

**A1.2**





2 PERSPECTIVE VIEW



1 EAST BUILDING ELEVATION



**DIMENSION11**  
 Madison Design Group  
 architecture - engineering - interior design  
 6515 Grand Teton Plaza, Suite 120  
 Madison, Wisconsin 53719  
 608.229.4444 608.229.4445  
 dimension11.com

Lake Edge Road  
 Townhomes  
 5611 LAKE EDGE ROAD  
 MCPHAILAND, WI 53588

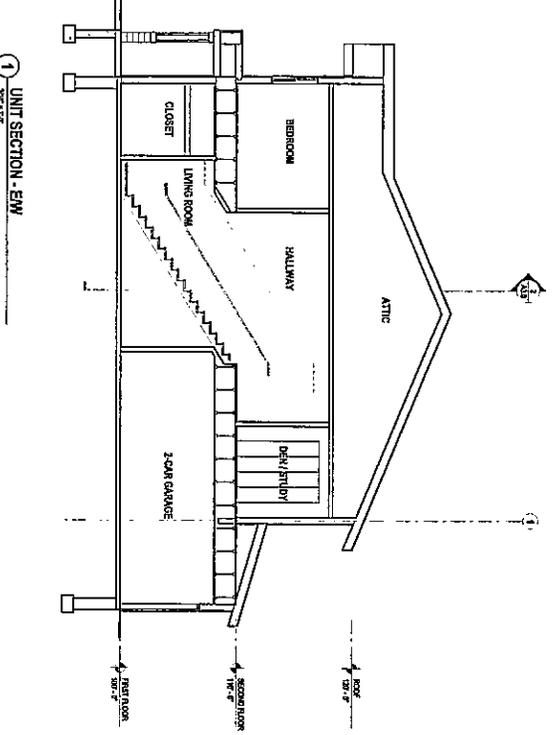
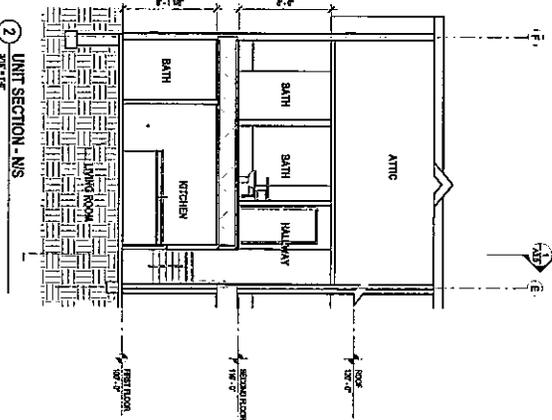
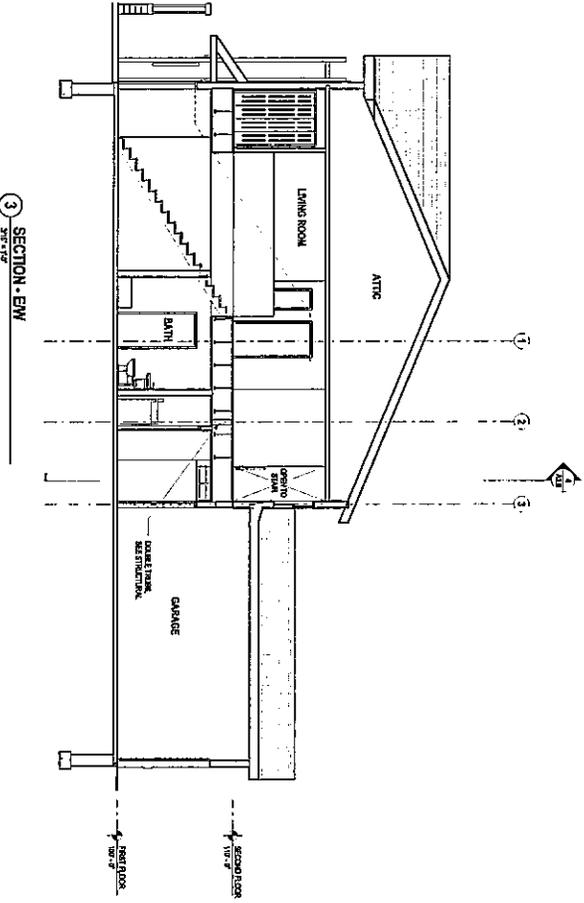
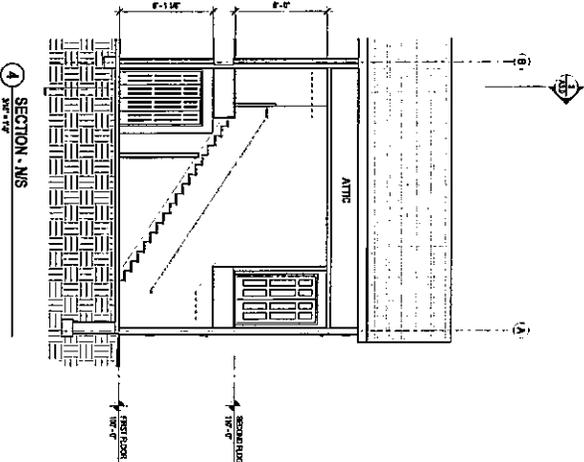
DATE OF ISSUE: 12/23/2015

**PRELIMINARY  
 NOT FOR  
 CONSTRUCTION**

PROJECT # 14155

EXTERIOR  
 ELEVATION &  
 PERSPECTIVE VIEW

**A2.1**



**DIMENSION**  
 Madison Design Group  
 architecture • engineering • interior design  
 655 Grant Park Plaza, Suite 100  
 Madison, Wisconsin 53715  
 608.253.4444 608.253.4445  
 info@dimensiongroup.com

Lake Edge Road  
 Townhomes  
 5911 LAKE EDGE ROAD  
 MCFARLAND, WI 53559

DATE OF ISSUE: 12/14/2015

**PRELIMINARY  
 NOT FOR  
 CONSTRUCTION**

PROJECT # 14156

BUILDING  
 SECTIONS

**A3.0**







Village of McFarland Comprehensive Plan Update  
 Monthly Progress Report  
December 2015



Tasks	Completed Work December	Anticipated Work January
<b>Work Element 1: Project Coordination</b>		
Task 1.1: Internal Project Kick-Off Activities	Prepared detailed project timeline Developed draft agenda of topics	Consultant/Staff meeting in mid-January
Task 1.2: Coordinate Successful Project Completion	Revised project scope in conjunction with Village staff Met internally with consultant project team to divvy roles	Same as above
Task 1.3: Project Steering Committee Meetings		Schedule first meeting for March
<b>Work Element 2: Stakeholder Participation</b>		
Task 2.1: Other Committee/Stakeholder Meetings		Schedule meeting with McFarland School District administration
Task 2.2: Web-Based Survey		
Task 2.3: Other Web-Based Communications		Decide on approach for Facebook page and project Web page
Task 2.4: Community Meeting to Guide Plan Update		
<b>Work Element 3: Plan Completion</b>		
Task 3.1: Comprehensive Plan Maps	Submitted subcontract agreement to Strand Associates	Execute agreement; agree on mapping protocol; begin C&I maps
Task 3.2: Conditions and Issues Volume of Plan	Began collecting data and organizing volume	Continue data collection and preparation of volume
Task 3.3: Vision and Directions Volume of Plan		
Task 3.4: Recommendation and Adoption of Plan		
Task 3.5: Production of Adopted Comprehensive Plan		
<b>Other Comments</b>		
<ul style="list-style-type: none"> <li>Please let us know if this format works well for you!</li> </ul>		

## **Community Development Highlights**

### **December 2015**

- For the month of December 15 permits were issued, bringing our yearly permit total to 368. Five permits were issued in December for new single family construction for a yearly total of 19 permits in 2015, the highest permit total since 2005. Veridian Development was responsible for 5 of the 19 new single family residential permits issued.

Approximately \$175,000 in permit fees was collected for 2015 on \$7.7 million worth of new construction.

- Along with Allan Coville worked to resolve construction nuisance issues with neighbors regarding the new Veridian subdivision.
- The reconstruction of Holscher Road is to be bid out in February 2016. Staff is still working with Tom Gannon to try and secure stormwater easements. Lift station construction is proceeding on schedule and should be operational when the first Veridian homes come online.
- Working with staff to finalize the updating of the zoning map; have received an updated proof correcting any mapping errors and encompassing any rezoning approvals since 2011.
- Work has begun with our consultant MDRoffers on the Comprehensive Plan Update.
- Met with Tom Gannon along with other Village staff regarding newly surfaced wetland delineation on his Prairie Place plat. Tom is concerned with losing some of his single family lots. We are working with CARPC to determine any required setbacks from these newly determined wetlands.
- Staff along with Brad Czebotar and Clair Utter met with new owners of the Beach House property to discuss a conceptual plan for the site. Owners were encouraged to meet with neighbors to obtain feedback.

- Met with representatives of the DOT regarding improvements to Hwy. 51. encompassing some design changes that would alter the necessity of eliminating parking stalls by Culvers Restaurant.
- Met with a developer who has an interest in developing property near Lake Waubesa. Provided him with information regarding sewer and water locations.
- Participated in Christmas in the Village held on December 5<sup>th</sup>. Had a great turnout in community participation and at the bonfire. Thanks to Jerry Adrian and Brad Czebotar and their wives for serving popcorn and hot chocolate at the bonfire. During the event visited with businesses who participated, all had a positive response to the event and their turnout.
- Met with individuals looking to locate a senior living project in McFarland.
- Attended the following monthly meetings:
  - Village Board
  - Plan Commission
  - Chamber of Commerce

Submitted by:

Pauline Boness

Community Development Director



## Memorandum

TO: Plan Commission Members

FROM: Marty Pilger, Building Inspector

DATE: January 14, 2016

RE: November & December Property Maintenance Report

LETTERS SENT IN OCTOBER	VIOLATIONS	STATUS
4912 Marsh Road	Obtaining a building permit for the shed and moving it to the rear yard	(9/28/15) Update – owner has contract to have slab poured in new location for shed. (December 2015) Contractor did not get to it, will be 1 <sup>st</sup> in spring
6307 Hidden Farm Road	Work being done without permit	Permit obtained 10-9-15
6607 Sleepy Hollow Road	Grass/weeds over 8” – Noxious weeds	Owner mowed property
4625 Yahara Drive	Grass/weeds over 8” – Noxious weeds	Owner mowed property
6227 Exchange Street	Furniture and junk stored on porch (follow up 8/9/15)	(9/10/15) Owner recovering from medical issue and I have granted additional time to correct. (1/14/16) Unable to contact owner, will keep trying.
5706 Wisconsin Street	Accumulated junk, lawnmower and unlicensed	Both vehicles are licensed. Owner has got one running

	inoperable vehicles stored on property. Follow up 10/8/15.	and had moved from driveway. 1/14/16 Trying to schedule time to meet owner to prove if second car runs.
--	--	---

<u>LETTERS SENT IN NOVEMBER :</u>	<u>VIOLATION:</u>
5115 Glen Road	Accumulation of junk and debris in yard. 1/14/16 – Second letter sent certified mail.
4710 Farwell Street	Work being done without obtaining a permit. 1/14/16 – Owner applied for permit.
No letters sent in December	