

PLAN COMMISSION

Monday June 20, 2016

7:00 P.M.

**McFarland Municipal Center
Community Room**

AGENDA

1. Call to order.
2. Review and approval of draft Minutes from the May 16, 2016 Plan Commission meeting.
3. Public Hearing – Review and possible action regarding a Conditional Use Permit (CUP), requested by US Ventures, Inc. to allow propane bulk storage, rail car transfer and truck loading at 4402 Terminal Drive, property zoned M-IC Manufactured Intensive.
4. Review and possible action regarding a Site/Design review, requested by US Ventures, Inc., for approval of propane bulk storage tanks, rail car and transfer rack at their US Oil Terminal located at 4402 Terminal Drive, property zoned M-IC Manufactured Intensive.
5. Public Hearing – Review and possible recommendation to the Village Board regarding Ordinance No. 2016-03. An Ordinance REZONING LANDS IN THE VILLAGE OF MCFARLAND AT 5401 PAULSON ROAD FROM M-IC MANUFACTURED INTENSIVE COMMERCIAL TO R-3 GENERAL RESIDENCE DISTRICT.
6. Review and possible action regarding a Site/Design review, requested by Spanrie Property Group, for site plan approval for a multi-family development located at 5401 Paulson Road.
7. Review and possible action on an amended CSM by Spanrie Property Group, regarding 5020 Farwell Place to include easements granted to the Village of McFarland for sanitary, water and stormwater purposes.
8. Review and possible action regarding a Site/Design review, requested by the McFarland Historical Society, for approval of a 500 sq.ft. addition to the McFarland Historical Museum located at 5814 Main Street currently zoned C-C Central Commercial.

9. Review and possible recommendation to the Village Board on a request by Thomas Gannon regarding Preliminary Plat approval for Prairie Place Subdivision located on 33.5 acres east of Holscher Road and north of MN. (Continued from May 16, 2016 PC meeting).

10. Discussion – Don Goben – Truck Movers site redevelopment.

11. Discussion – Possible division of a residential lot located at 5306 Falling Leaves Lane.

12. Discussion – Grell property redevelopment– carry over from May 16, 2016 meeting.

13. Department Reports:

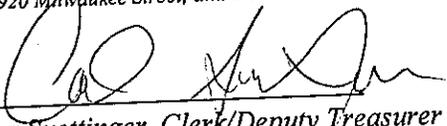
- a. Highlights and updates – status of draft ordinance to regulate short term rentals
- b. Property Maintenance

14. Adjournment

Notes:

- 1) Persons needing special accommodations should call 608-838-3154 at least 24 hours prior to the meeting.
- 2) A quorum of The Village Board may attend this meeting for the purpose of gathering information relevant to their responsibilities as Village trustees. No matter shall be considered nor shall any action be taken by said Village Board members at this meeting.
- 3) More specific information about agenda items may be obtained by calling 608-838-3154.

This agenda was posted, or caused to be posted, by my hand on the 17th day of June 2016, at the following three (3) posting places in the Village of McFarland, to wit: McFarland Municipal Center, 5915 Milwaukee Street; E.D. Locke Public Library, 5920 Milwaukee Street; and the McFarland State Bank, 5990 Hwy. 51.


Cassandra Suettinger, Clerk/Deputy Treasurer

Plan Commission

Background and Recommendations

June 20, 2016

Agenda Item #3 & #4– US Ventures, Inc. – Fuel site design and CUP to add the sale of liquid propane to its list wholesale service.

Liquid propane will be shipped by rail to its McFarland facility and off loaded on a racking system and stored in one of two 30,000 gallon above ground tanks. Upon purchase, tractor trailers will be loaded to transport to offsite users. The tanks themselves are used and have been onsite for few years. At the June CDA meeting terminal manager Dan Morrill indicated the older tanks are thicker and able to withstand higher pressures.

I have concerns about bringing yet another hazardous product into the Village. In shipments by rail, storage and shipping out by tanker truck each presents its own set of risks for hazardous situations. The northern portion of our Village already has some 50 tanks ranging in size from 3,000 to 2.7 mil. gallon plus a piping system to carry petroleum products. The Village has had its share of spills and clean ups over the years. Do we need another product that adds to our potential for contamination through leaks caused by faulty pipes or tanks, potential rail or tanker truck accidents? At what point do we draw the line on expansions?

Commissioners should question safety measures taken throughout the entire transportation and storage process as it relates to McFarland. CDA members moved to make a recommendation to the Plan Commission for approval of the CUP subject to review by the Emergency Management Director and the Fire Chief.

Note: Separate motions required for each agenda item.

Agenda Items #5 & #6 – Site design plan for multi-family development and rezoning 5401 Paulson Road.

A narrative for this project is included with your packet. Our comprehensive plan allows for this use. Land uses in the area consist of single family, two family duplexes, multifamily, office, retail and light assembly. This proposed rezoning is within the uses identified in our Comprehensive Plan.

The proposed site design plan calls for a two-phased development of duplexes. Designed traffic pattern will be one way to avoid conflicts at the Paulson Road, Ridge Road intersection.

Vehicles will exit through a small portion of Village land to reach Paulson Road. Sidewalk is proposed to extend from the south east boundary of the site to the first main driveway just west of Ridge Road.

Density – Max under R-3 is 8 units per acre = 23 units. Developer is proposing 11 duplex buildings or 22 units.

Recommendation: I believe this land use can be a good fit for the area. While I know we don't care to lose manufacturing parcels, no business has expressed an interest in the property; I believe its proximity to residential uses has been a deterrent. The area is a good mix of primarily two family and multi-family units. The area should be able to handle the additional traffic and density of units.

Approval – zoning should be contingent upon approval of a site design plan.

Approval – site plan should be contingent upon approval of a Developers Agreement by the Plan Commission and Village Board. Approval by the Village engineer of a stormwater and erosion control plan. An executed stormwater maintenance agreement. Surety to cover the cost of public improvements and an ingress and egress easement agreement with the Village of McFarland.

Agenda item #7– CSM Amendment 5020 Farwell Street

Since this property was subdivided and approved in August 2015, the need to grant some easement to the Village has surfaced. Lots 1 & 2 created in 2015 now have stormwater, sanitary and water easement for the benefit of the Village. This amended CSM recognizes these easements.

Recommendation: Approval

Agenda item #8 – Site design Historical Society addition – parcel is zoned C-C.

The Historical Society would like to add 544 sq.ft. to its existing exhibit space. The 17 x 32 ft. addition will be added to the rear of the existing building and the existing roofline will be extended. According to the plans in your packets, the siding will be fiber cement. Just over 10' will separate the addition from the small log cabin at the rear of the site.

Note: This parcel is zoned C-C central commercial which has no setback requirements. Builder should contact Building Inspector/Village Engineer to verify addition will not cause any surface drainage issues.

Recommendation: Approval contingent upon review of stormwater drainage by the Building Inspector/Village Engineer.

Agenda item #9 – Preliminary Plat- Prairie Place subdivision – Tom Gannon

This matter was tabled at the May meeting, Staff hoped to have a resolution on the Holscher Road right of way issue; however, negotiations are still ongoing.

Just to recap here is the background from May 2016 –

“Back in June of 2015 the Village conditionally approved a preliminary plat; since that time, the DNR has designated wetlands on this site which has required Tom Gannon to make adjustments to his plans for this subdivision. The newest layout is in your packets. There are quite a few issues to resolve with this new plat including obtaining from CARPC a variance to the 75 foot setback from wetlands which impacts building footprints for a number of lots. The Village will need to sponsor this variance request if we agree with Mr. Gannon’s reasoning. The right of way to be dedicated for improving Holscher Road may need to be moved further east due to an ongoing dispute about the correct location of the quarter section line which would be the centerline of improved Holscher Road. Lastly, a week prior to Mr. Gannon’s filing of the preliminary plat; we learned the property immediately east was purchased by Skaalen Retirement Services, Stoughton, WI. This group plans to build senior facilities in 5 – 10 years, which most likely will involve a campus like setting with private streets, impacting the 3 street extensions shown on the eastern portion of the Prairie Place Plat.”

If Plan Commissioners wish to act on the plat (as our 60 day time limit for action by the Plan Commission is June 20th unless Mr. Gannon agrees to an extension) I suggest the following conditions to any approval. (NOTE: The list of conditions are based on documents dated April 20th. The documents in your packets dated June 16th are revised; due to time constraints, I did not review them and make any adjustments to the list of conditions.

- Approval of rezoning of all lots within the plat that would permit land uses specified for the Prairie Place Plat.
- Submission and approval of a Development Agreement with the Village of McFarland.
- Variance granted by the Capital Area Regional Planning Commission to the 75’ setback buffer from the wetland boundary to those lots affected.
- Variance granted by the Capital Area Regional Planning Commission to the 35’ grading setback from the wetland.
- Submittal and approval by the Village Engineer of five sets of all plans for public streets, public sidewalk, temporary T turnarounds, sanitary sewers and public water to be located

- within the boundaries of the plat including revision of White Daisy Lane to a permanent cul-du-sac and other comments in the Village Engineers review letter dated May 17,2016.
- Submittal and approval of a stormwater management, and erosion control plan by all applicable entities.
 - Surety to cover cost of required public improvements.
 - Submittal and approval by the Village Board of dedicated parkland and fees-in-lieu of parkland dedication.
 - Submittal to and approval by the Village of any deed restrictions or covenants for the plat including but not limited to lowest elevation for building openings.
 - Approval by the Village Attorney of an easement agreement between Prairie Place Property LLC and Westshore Pipeline.
 - Future sanitary sewer easement parallel with the Westshore Pipeline supply pipe.
 - Identification on the preliminary plat of all public spaces proposed to be dedication for parkland use.
 - Submittal to and review by the Village Engineer of any soil borings required by the Village.
 - Development Agreement to include waterproofing measures to be used for residential basements, details of which will be submitted with residential building permits for lots as determined by the Village Engineer.

Agenda item #10 – discussion future use of 4313 Triangle Street now leased to Truck Movers

Don Goben, owner of Goben Motors plans to purchase this site and would like to use the building and grounds for storage of boats, RV's and cars temporarily stored to be later shipped to his car dealership in Madison.

Mr. Goben understands this future plans for this area and our wish to assemble properties for the creation of larger parcels. He has stated he is open to a future purchase by the Village or private developer.

Mr. Goben did appear before the CDA in June to explain his ideas. CDA members were open to considering a temporary conditional use permit; renewed on a yearly basis. Mr. Goben is interested in learning your thoughts on this.

Agenda item #11 – Discussion possible division and rezoning of 5306 Falling Leaves Lane

Property owners Cindy and Art Weber would like to subdivide and rezone their existing lot in order to build a residence. Their lot is currently 23,261 sq.ft. zoned R-1, in order to split this lot to accommodate a new residence, the zoning for the newly created lot would need to be changed from R-1 to R-1A; however, I thought it best to consider rezoning both lots to R-1A to avoid any spot zoning issues.

Mr. Weber will be appearing in order to hear your thoughts on his proposal.

Agenda item 12 – Grell Property

Met with John Grell and his daughter. John would still like to build a house for his daughter but would like help from the TIF for tank removal and possible clean-up. In the past, the Village had proposed buying the land from Mr. Grell and selling it; however, the stumbling block was financial responsibility for tank removal along with contaminated soil. Neither the Village or Mr. Grell were willing to take this on as the cost was an unknown and whether or not the increment from any redevelopment would repay clean-up costs.

It appears the only way we are going to get redevelopment of this site is to partner somehow with Mr. Grell.

Recommendation: Have the CDA project management team meet with the Village Attorney to see if we can work out a scenario that is a win win for both partners.

**Sec. 62-111. Standards; conditional uses.**

No application for a conditional use shall be approved by the Plan Commission or appeal granted by the Village Board unless the Plan Commission and Village Board shall find that the following conditions are present:

- (a) That the establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare.
- (b) That the uses, values and enjoyment of other property in the neighborhood for purposes already permitted shall be in no foreseeable manner substantially impaired or diminished by the establishment, maintenance or operation of the conditional use and the proposed use is compatible with the use of adjacent land.
- (c) That the establishment of the conditional use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.
- (d) That adequate utilities, access roads, drainage and other necessary site improvements have been or are being provided.
- (e) That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.
- (f) That the conditional use shall, except for yard requirements, conform to all applicable regulations of the district in which it is located.
- (g) That the proposed use does not violate floodplain regulations governing the site.
- (h) That, when applying the standards to any new construction of a building or an addition to an existing building, the Plan Commission and Board shall bear in mind the statement of purpose for the zoning district such that the proposed building or addition at its location does not defeat the purposes and objective of the zoning district.
- (i) That, in addition to passing upon a conditional use permit, the Plan Commission and Village Board shall also evaluate the effect of the proposed use upon:
 - (1) The maintenance of safe and healthful conditions.
 - (2) The prevention and control of water pollution including sedimentation.
 - (3) Existing topographic and drainage features and vegetative cover on the site.
 - (4) The location of the site with respect to floodplains and floodways of rivers and streams.
 - (5) The erosion potential of the site based upon degree and direction of slope, soil type and vegetative cover.
 - (6) The location of the site with respect to existing or future access roads.
 - (7) The need of the proposed use for a shoreland location.

(8) Its compatibility with uses on adjacent land.

(9) The amount of liquid wastes to be generated and the adequacy of the proposed disposal systems.

(Code 1998, § 13-1-66; Ord. No. 2003-03, § 1(13-1-66), 3-24-2003)

Sec. 62-112. Denial of application for conditional use permit.

When a decision of denial of a conditional use application is made, the Plan Commission shall furnish the applicant, in writing when so requested, those standards that are not met and enumerate reasons the Plan Commission has used in determining that each standard was not met.

(Code 1998, § 13-1-67; Ord. No. 2003-03, § 1(13-1-67), 3-24-2003)

Sec. 62-113. Appeals.

Any action of the Plan Commission in granting or denying a conditional use permit may be appealed to the Village Board, if a written request for an appeal is filed within ten days after the date of the Plan Commission's action in granting or denying the permit. Such request for appeal shall be signed by the applicant or by the owners of at least 20 percent of the land area immediately adjacent extending 100 feet therefrom or by the owners of 20 percent or more of the land directly opposite thereto extending 100 feet from the street frontage of such opposite land. The request shall be filed with the Zoning Administrator who shall submit it to the Village Board at its next meeting, together with any documents and other data used by the Plan Commission in reaching its decision. The Village Board may consider the matter forthwith, refer the matter to a subsequent meeting or set a date for a public hearing thereon. In the event the Village Board elects to hold a public hearing, notice thereof shall be given by mail to the known owners of the lands immediately adjacent thereto and directly opposite any street frontage of the lot or parcel in question and by publication of a class 1 notice in the official newspaper at least ten days before the date of the hearing. The Village Board may either affirm or reverse in whole or in part the action of the Plan Commission and may finally grant or deny the application for a conditional use permit.

(Code 1998, § 13-1-68; Ord. No. 2003-03, § 1(13-1-68), 3-24-2003)

Sec. 62-114. Conditions and guarantees.

The following provisions shall apply to all conditional uses:

- (a) *Conditions.* Prior to the granting of any conditional use, the Plan Commission, or the Village Board on appeal, may stipulate such conditions and restrictions upon the establishment, location, construction, maintenance and operation of the conditional use as deemed necessary to promote the public health, safety and general welfare of the community, and to secure compliance with the standards and requirements specified in Section 62-111. In all cases in which conditional uses are granted, the Village Board shall require such evidence and

**WORKING DRAFT -Minutes
Plan Commission
Meeting**

May 16, 2016

Members Present: Kate Barrett, Brad Czebotar, Bruce Fischer, Cathy Kirby, Ron Berger, Dan Kolk

Members Absent:

Staff Present: Pauline Boness, Brian Berquist, Town & Country Engineering, Karen Knoll

Others Present: Cathie Taylor, Emerson Taylor, The Dog Hut; Jim Lacy, Virginia Barresi, Anthony Barresi, John Grell, Patrick Kennedy, Dale Carmichael, Kay Carmichael, Matthew Coan, Tom Thorson, Royal Oak Associates Inc.; Tom Gannon, Gannon Construction; Mark Shubak & Jim McCarthy, Strand Associates; Jerry Dietzel, Michele Stoffel-Rosales, Hugo Stoffel-Rosales

1. **Call to order.** Czebotar called the meeting to order at 7:03 p.m.

2. **Review and approval of draft Minutes of the April 18, 2016 Plan Commission minutes,**

Czebotar moved to approve the April 18, 2016 minutes Kirby seconded the motion. Motion carried.

3. **Public Hearing - Review and possible action regarding a Conditional Use Permit (CUP), requested Cathie Taylor (CEBK Investments LLC), allowing The Dog Hut LLC at 4311 Triangle Street, property zoned C-H Commercial Highway**

Czebotar opened the public hearing at 7:04 p.m.

Cathie Taylor – 2404 Hwy Ab – reviewed the history of their business at 4311 Triangle Street, which they started 5 years ago with a CUP. They understood they are in a TIF zone and there has been no indication the Village has any other plans for the location at this time. Their business has grown from 4 – 5 dogs a day to 55 – 60 dogs per day, with 13 employees. They would like to extend the CUP for another 5 years if a permanent one is not possible. Their location is key to their success and referral based, if they had to relocate they could but would prefer not to.

Jim Lacy 5800 Osborn Drive – Is in favor of this approval and encourages the Commissioners to approve the CUP. He is a customer, but feels this is in a perfect location. The owners have made many improvements, and, he does not feel noise is an issue due to the location next to a highway and in a light industrial location.

Boness inquired if there is a limit to how many dogs can be at the facility. Taylor responded there is no limit.

Czebotar closed the public hearing at 7:09 p.m.

Czebotar moved to approve a Conditional Use Permit (CUP), requested by Cathie Taylor (CEBK Investments LLC), allowing The Dog Hut LLC at 4311 Triangle Street, property zoned C-H Commercial Highway for an additional five years. Seconded by Kirby.

Boness asked in light of the conversation of making this permanent is there a reason they wish to do another 5 year CUP? Czebotar responded because it is in a EEF district and the possibility of something else being done with the property. Boness indicated since Taylors now own the property, a temporary CUP will not make a large difference. Czebotar revised the motion to indicate a permanent CUP, Kirby agreed. Motion carried 6-0.

4. Public Hearing - Review and possible action regarding a Conditional Use Permit (CUP), requested Adam L. Frydenlund allowing for construction of a duplex at 6104 Rivercrest Drive, property zoned C-G, General Commercial.

Czebotar opened the public hearing at 7:11 p.m.

Mathew Coan 6211 Rivercrest Drive – Showed a slide presentation of neighborhood and indicated concerns, they have been having meetings with neighbors to discuss the proposal. The site plan is different from the rest of the neighborhood and not in keeping with the character of the neighborhood, there are many mature trees, it will not be an owner occupied property and is a very basic plan in a neighborhood of custom homes. There is a neighborhood sign just past the proposed lot, with plantings by the neighbors to beautify the neighborhood, which will likely be removed. One of the main problems is this is a very narrow lot without a wide side yard, the setback does not conform with the neighborhood. While they welcome multifamily, concerns over maintenance, lack of room due to small garages, outside storage issues. They have been told Frydenlund has indicated he will keep an eye on the property, but they are concerned over what that really means, and, what the recourse is if it is poorly maintained. Coan would like to see this turned down as proposed. He feels there is the possibility to build something which goes deeper into the lot and is not so close to the road and crowding the lot lines.

Barrett asked are setbacks, or rentals the main concern? Coan responded while they would prefer something which was owner occupied, the layout, plan, and the setbacks are the main concern.

Adam Frydenlund – He feels the house does look uniform with others in the neighborhood. He is leaning towards making this a higher end product, with nice landscaping and will try to get tenants who will appreciate the property. Frydenlund reviewed his landscape plans, he would like to maintain the front of the property with tree's along the side by the neighbor's home. He is doing this project as an investment and wants to make it as large as he can between 1500 – 1800 square feet in size with two car garages facing Rivercrest Drive. He feels the setbacks do meet the commercial setback guidelines, but doesn't feel he can make the building longer due to the backyard setbacks.

Boness feels there is room to go back further based on the plot map as shown, she will have to look into this. Boness stated she will take a look into where the home can sit on the lot per setbacks. Kirby suggested he work with staff on where the home is placed on the lot to help with the concerns of the neighbors. Barrett asked about converting this property to R-2. Boness stated if it is left C-G they have the ability to review the proposed project, site design, etc. if it is zoned R-2 we do not review site plans at the Plan Commission level. In the long run if it is R-2 you have more to say in the future of the lot, if left at C-G someone could potentially place a business in one half of the duplex.

Hugo Stoffel- Rosales 6109 Rivercrest Drive—he would like to have clarification why this cannot be considered for a single-family home.

Kirby responded because it is zoned commercial at the present time, you would have to have someone who is interested in changing the zoning and putting up a single family home. It can be changed from Commercial to R-2, but without an interested party the zoning remains the same.

Frydenlund reviewed his planned color palette for the property. Czebotar inquired what the rental amounts would be for the property. Frydenlund replied it will be approximately \$2400 per unit. Barrett inquired if he is interested in moving his family to McFarland. He replied they currently purchased a property in Sun Prairie where they reside and will for two more years, in 2 years they will make a decision as to where they wish to live. Barrett encouraged him to explore moving the property back from the street, the front of the home is the calling card. She would like to see him work with staff on this. Kirby feels we need to keep with the truth in zoning, if you are going to use a lot as R-2, it should be zoned R-2. Fischer inquired if he had looked at designing something where one unit is more the main property and the other has a different design to give it some curb appeal, and make it not look so much as a rental. Frydelend replied one of the units will be set back a little bit. Fischer asked for confirmation, will both be the same floor plan and size? Frydenlund replied yes they will be.

Czebotar closed the public hearing at 7:42 p.m.

Boness referred Commissioners to the letters in their packets, and to take those into consideration. Fisher responded in reviewing them there was one indicating Frydenlund has no ties to the Village and has flipped properties, this is something the neighbors are concerned about, and something which does happen. How can he reassure neighbors this will not happen. Czebotar asked of Frydenlund if he would be open to changing the zoning of the property. Frydenlund replied he would be willing to change the zoning of the property, he has structured the building accordingly to fit both setbacks. Kolk inquired if we had to issue a permanent CUP in a C-G, and who requests the zoning change. Boness responded it would be a permanent CUP if it was C-G, the owner would be the applicant to request a zoning change. Czebotar asked if Frydenlund would be willing to request a zoning change. Frydenlund replied if that is what it would take to get approval he would. Kolk asked what his main business is. He replied he does remodeling of both residential and commercial and has flipped homes. He did get his real estate brokers license in 2012 so he can purchase and sell real estate, he does not have any interests in flipping this property, and his sole purpose is to keep this for his income.

Kirby stated we do have ordinances on the books to use to keep properties up. This property is on the edge of the neighborhood, and a duplex can be better than commercial. She understands the neighbors' valid concerns about maintenance if it becomes a problem the Village will become involved.

Kirby moved to approve a Conditional Use Permit (CUP), requested Adam L. Frydenlund allowing for construction of a duplex at 6104 Rivercrest Drive, property zoned C-G, General Commercial. With the understanding Mr. Frydenlund will approach the Village for rezoning to R-2 and staff approval of setbacks and landscaping plans. Berger seconded the motion.

Kolk asked for clarification the zoning. Kirby responded she feels there should be truth in zoning, this way the project can keep moving forward, but he will have to apply for the rezoning. This is one of the conditions of the conditional use permit. Fischer was not sure we would have grounds for approval if it was R-2. Kirby replied she is making that a condition of the CUP as we are seeing the plans tonight, and he will have to meet with staff for further approval. Boness asked for clarification, it is Kirby's understanding before he can build, he will have to come back to the Plan Commission for the zoning? Kirby replied yes along with the setbacks and landscaping. Berger asked if this is a problem. Boness replied it may be because if he does not get the zoning then the project would be dead, as it would be a condition of the CUP. Kirby would like it to be zoned R-2 and not stay commercial for the benefit of the neighborhood. Kolk felt the only way to do it would be to deny the CUP and have Frydenlund to come back with a request for R-2 zoning. Commissioners discussed the various options to accomplish what they feel is best for this request.

Kirby amended her motion to remove the condition of applying for R-2 zoning, Berger accepted the amendment. Kirby moved to approve a Conditional Use Permit (CUP), requested Adam L. Frydenlund allowing for construction of a duplex at 6104 Rivercrest Drive,

property zoned C-G, General Commercial, conditional upon staff approval of setbacks and landscaping plans. Berger seconded the motion.

Kirby strongly encourages Frydenlund to move forward with the rezoning to better fit in with the neighborhood. Barrett would like to see the duplex moved as far back on the site as possible.

Czebotar called for the vote, motion carried 6-0.

5. Public Hearing - Review and possible recommendation to the Village Board on a request by Thomas Gannon regarding Preliminary Plat approval for Prairie Place Subdivision located on 33.5 acres east of Holscher Road and north of MN.

Czebotar opened the public hearing at 8:00 p.m.

Tom Gannon 2860 Cty. Road AB, representing Gannon Company – In 2008 the Prairie Place subdivision was approved but they did not move forward or record the plat. In 2015 they received approval of a Preliminary Plat identical to the one in 2008. Since then it was confirmed there are 6.83 acres of wetlands in the center of the plat. Gannon reviewed the proposed plat, with 56 single family lots, adding one large multi-family lot with up to 120 units on it, and the connection to the Veridian development, and location of the future bike path. There is one less road through the center of the development from prior plats due to the wetlands. Staff requested removal of a through street and identifying a cul-du-sac on White Daisy. Boness informed Commissioners this is due to the new owner of the adjoining property Skaalen most likely wanting a campus type layout on their property in the future, therefore a through street will not be necessary. Barrett asked about the proposed multifamily lot, is there the possibility of duplexes there? Gannon responded there is not a lot of depth there to give them the ability to construct duplexes, they feel the site lends very well to a P.U.D.

Patrick Kennedy asked if they are planning to put in all multifamily on the corner of Holscher and MN, he was not in favor of such a plan. Gannon advised he would come in with a proposal; they are seriously looking at a 55+ rental on the site. Boness inquired if they would be moving forward with the rental first or the single family. Gannon replied both will be coming on line at the same time, but they do not have a specific timeline.

Tim Thorson from Royal Oaks reviewed the sanitary lift station, connections, inverts, street grades on the preliminary plat with 8" mains and 4" laterals to the single family. They hope to connect to the 10" mains for the multifamily and would like them to be as deep as possible. The water mains will be used off of MN. There was also review of the proposed storm sewer layouts. Streets will be standard structure. Barrett asked if there will be sidewalks. Thorson replied yes throughout the project.

Mark Shubak of Strand Associates, discussed the wetland delineation maps and photographs of the site. The site was cultivated farmland for as long as records exist. They will focus their efforts on restoring it to its pre-farm condition rather than protecting it. Fischer stated there has been standing water on the site in previous years. Shubak responded they are not proposing to fill in the site and have been meeting with specialists to discuss plans. Kirby asked if they are asking for a variance for the 75' barrier as there are some lots which are infringing on the barrier. Shubak reviewed a larger overview of the stormwater management plan, there are certain unique challenges to the plan, one being the restoration plan for the property. In order to advance the plan, CARPC has certain wetland requirements, one condition is there are certain setbacks to wetlands. It wasn't until last year the wetlands were regulatory identified. The 75' for setback for impervious surface and the 30' setback for grading. This is a unique case, as the setbacks are normally for established wetlands. The quality of this wetland is limited as it was farmed. They have met with regulators who agree with this, but there is a certain process which has to be gone through in order to obtain a variance or sponsorship and the support of the Village to make that petition. They are looking to see, as they are going to restore it to its native variability. Shubak said the feedback they received from CARPC staff appeared to be in support, they have to go back before CARPC commission members for approval. From a CARPC staff level this is a proposal they can support due to the type of restoration.

On the west side of the plat there is a 500' area which has been replaced with fill over the years, this was before they knew of any wetlands in the area. There is now a very steep erosive slope which exists there now, they would propose to regrade it so it would be a gentler slope.

Shubak explained the types of grasses, vegetation and the bio retention facilities. There will be a path with a 10' offset to meet requirements. They would be asking for variances on the impervious area setbacks of five of the lots. There are regulatory hurdles they need to overcome, and have to approach CARPC for variances.

Kirby stated CARPC may not have problems with this but she does, due to past experience in the Village there are homes which were allowed to be built in an area which is not particularly wet, but have issues with flooding, it is one thing to have a small corner of the lot in the wetland, it is another to have 85% of the lot in the wetland. She feels the wetland would have been larger had dirt not been brought in to fill the area along Holscher Road. Once you start building homes, and have driveways and streets you are adding a lot of impervious surface, you will see that area become wetter. Shubak did not feel it would be as large of a problem as the Juniper Ridge development is containing its own runoff, he also feels if they waited five to ten years this area would dry up.

Jim McCarthy Strand and Associates – The buffer is meant to be a protection of inherent habitat which is meant to be protected, they are planning on not moving dirt but putting the vegetation there which they feel will be most successful in establishing a quality area. The intention is to ask for the ability to put a trail on the west side which will be 10' feet from the edge and get an exemption for the four east side lots. They do not think they will need any subsurface drainage tile. Kirby stated the reality is, even if you get the variance of the buffer,

people will push their backyards further out and take over the buffer and you will have backyards right up against the wetland, people will mow as far back as they can. Shubak stated there will be restrictions as to what can and cannot be done within the buffer, there will not be sheds or impervious surfaces allowed. Kirby inquired who would regulate the restrictions. Shubak replied the Village would be in charge. Shubak stated due to the sandy soil ground water will not be found, people will have sump pumps to run, it is a very well drained depression. Fischer pointed out, while they state they have cut off 2/3 of the hydrology flowing in, they have also filled in about 1/4 of the area, water has stood out in that area for a significant time, it was not due to frozen ground. Barrett added, as they have stated these are hydric soils, by definition hydric soils do not drain well. McCarthy replied they have done testing and borings on the site, if it is wetland, it is not a highly organic wetland, vegetation is not going to come on its own, they will use seed mixes to create a focal point, but he does agree someone can mow it to make it look like their yard. Barrett stated they are not disputing it, and commends them on what they are proposing to do, but to say that some of these lots are not going to be wet at some time, when they have seen it before in similar situations.

Gannon replied he feels people who have a 75' setback will do the same thing, the Village will need to police it and put up signs, and it will be part of the process. The buffer only means you cannot put impervious surface in the area, which is why they are going for a variance. He feels this is a huge opportunity. Gannon asked of McCarthy what area would fill in the event of a 100 year storm. McCarthy replied it would fill to the wetland boundary, as shown on the map. Barrett stated the hydrology will probably balance out, the question is regarding the variance for the parcels where people will later on have to deal with water issues. Gannon replied that is his issue to deal with. They will build homes at a particular elevation to try to avoid this and they will have sump pumps or walk out basements to control the issue. Boness stated the Village did have to pay to mitigate the situation on East Open Meadow due to water issues and in regards to CARPC she would not go as far to say they are automatically going to approve this at the staff level.

Kirby stated the bottom line was the Village had to go in and correct a problem, and while she agrees with Barrett and commends them on what they are proposing to do, however wetlands are still wetlands, whether Gannon agrees or not, it still deserves the buffer around it. Fischer asked if someone is thinking to develop further to the east, how that will impact this development. Berquist stated water would flow in the other direction. Gannon reviewed the proposal and feels without the variance they will not be able to build on some of the lots, isn't it worth the small variance to allow someone to build on them? They will put signs up to prevent people from mowing into the wetlands, it is a reasonable compromise.

Berquist summarized his review letter, most are achievable at the time of the final plat. Specific to the right of way on Holscher, it is not built at this time, they are waiting on Veridian to provide sufficient right of way to start the construction. They also need sidewalk easement or dedication. They are waiting for Veridian to resolve their right of way issues, and Berquist has indicated if that does not get resolved they can ask to secure land from Gannon. The other items on Holscher Road are not insurmountable. Boness asked Berquist his viewpoint of potential wet basements. Berquist replied, it is tricky, his advice would be they do not go hand

in hand with wetlands, groundwater is difficult to predict, and the best defense is elevation and having the basement levels higher. It is a horizontal buffer and he is more concerned with the vertical, what is the level of the wetland when it is dry and when it is wet, the level in the 100 year storm, elevations need to be set on the worst case scenario. It is a policy decision for the Village. He would suggest deed restricting the basement levels, similar type subdivision require private rain gardens on each lot, it does come down to policy.

Czebotar asked of Berquist, a lot of the concerns raised today are not necessarily the same concerns he has? Berquist replied he feels they are concerns which can be addressed, his biggest concern is the long-term issues. The Village has the ability to decide whether or not they want to allow residence within 75' of a wetland. The other issues he feels are solvable. Czebotar asked would Berquist be reasonably comfortable advancing this to the Village Board. Berquist responded he thinks there are a lot of conditions, not only those in his letter, not all have been addressed, some of these can be discussed with Gannon and their staff, the Village should provide some guidance if you're comfortable with near term grading in the 75' buffer and comfortable with rooftops long term in that 75' buffer. Those would be the two biggest questions. Czebotar felt with those questions there are answers which would be needed. Boness felt there would be a lot to talk about, we did receive some new information tonight and we will work with Berquist and the rest of staff on conditions for next month's meeting. Unidentified gentleman from audience had question regarding filling in of the land, also he is not in favor of the apartment complexes proposed to be on Holscher Road. Gannon responded this was approved years ago and he took out erosion control plans to do this, he feels the location is ideal for multi-family.

Brian Utter 5703 Paulson Road - how is the Veridian system going to interface with the proposed development, there is a pipe running under MN draining it all out, he does not feel the original plan was to dump water onto neighboring properties. He wanted to know how the Veridian property will drain onto the proposed Gannon site in the case of a flood; will this be through a pipe? He is concerned as when this area flooded previously, it was in the center of the area as it was cropland; in a heavy event when you now have homes and more impervious surface you will have more issues.

Shubak feels the plan which was developed for Juniper Ridge is self-containing in a 100 year issue, the pipe is there in case the infiltration system did not function as designed.

Czebotar closed the public hearing at 9:37

Czebotar moved to continue the review and possible recommendation to the Village Board until the June 20, 2016 Plan Commission meeting. Kirby seconded the motion, Motion carried 6-0.

6. Review and possible action regarding a Site/Design review, requested by Tim Neitzel, for approval of a single building office and warehouse structure for property located at 4761 McFarland Court currently zoned C-H Highway Commercial.

Jerry Berquin – Dimension IV Architects - there originally was a small building approved for this site in 2008, but they did not move forward with it at that time, they now have a tenant for the site, Sunset Ridge Exteriors, whom they feel will be a good fit for the area. It will be a 3000 sq.ft. building with area for a later addition. They will be adding 6 parking stalls to what is already on site, and the dumpster will be moved towards the back of the site. Berquin reviewed the plans and materials to be used for the building. The building will be in line with other buildings in the area. There is potential for one more building in the subdivision. Stormwater has already been prepped and is in place.

Berquist stated the stormwater management was done for the entire project a few years ago, they would need the erosion control plan, and the site plan showing stormwater, and the parking lot still needs dimensions identified.

Berquin stated the landscaping plans had previously been submitted, the back area is wetlands, and they did put a buffer along the side of the lot. There are new plantings along the dumpster area. Boness compared the buildings from 2009 and the current submission. Berquin stated the reason for the change is who the building is designed for. Barrett asked for verification this is not going to be used for storage, it is designed for a tenant. Berquin responded there will be offices in the front and the materials will be kept inside, which is where the loading will be taken place. Barrett stated she is not impressed with the design, she would like to see it spruced up a bit, if there is any way they can do this.

Czebotar moved to approve the site/design requested by Tim Neitzel, for a single building office and warehouse structure for property located at 4761 McFarland Court currently zoned C-H Highway Commercial. Conditioned upon no outdoor storage without issuance of a Conditional Use Permit by the Plan Commission, an erosion control plan reviewed and approved by the Village Engineer, site plan completed and approved by staff. Seconded by Kirby. Motion carried 6-0.

7. Department Reports:

- a. **Highlights and Updates** – Boness updated Commissioners Mr. Grell was in attendance tonight, but has left. She has included an email from the DNR in packets, as Mr. Grell wanted the condition attached to his CUP regarding oil tank removal deleted, she feels it should stay based on the email. We can extend this to the June meeting. Czebotar asked if there is a requirement for the tank has to be removed, what is the likelihood, due to the cost, anything would happen with the lot. Boness replied it will all depend on what is found, how much if any

residual soil. The suggestion was to do some samples to see what would be found there. Czebotar referred this to the June meeting.

- b. Property Maintenance Report** – Barrett pointed out Neitzel property next to the Walgreens needs to be mowed. Kirby inquired about people who mow and leave the grass on the sidewalk. Barrett responded you cannot mow into the street, there is no ordinance about the sidewalks.

Boness informed Commissioners there is a proposal for a gas station to be put on the corner of Siggelkow and Valley, in the City of Madison. There is a public hearing in June at which time Berquist and Allan Coville will be there to represent the Village and their opposition due to the closeness of our municipal well. The meeting conflicts with our June Plan Commission meeting, Village Board members will likely be in attendance. They have met with parties from Madison to indicate our concern due to the closeness to the well. Czebotar advised they will also possibly be discussing public safety issues as well.

- 8. Adjournment** – Kirby moved to adjourn, Barrett seconded the motion, motion carried meeting adjourned at 9:50 p.m.

Working Draft

#324



US Oil – Madison Terminal Propane Project McFarland, WI

May 6, 2016

MEMORANDUM

To: Community Development Director
Village of McFarland, Municipal Center

From: Kristopher A. Kreh, P.E., US Oil

Date: May 6, 2016

Subject: **Conditional Use Permit Application for new Propane System Installation**
US Venture property at 4402 Terminal Drive, McFarland, WI

U.S. Venture, Inc. (U.S. Venture) is submitting the attached Plan Commission Application for Conditional Use Permit and Site Plan Review to install a Propane Bulk Storage, Rail Car offloading and Truck loading Site, at the middle southern portion of their Madison Terminal (the "Site"), located at 4402 Terminal Drive in McFarland, Wisconsin. A tank installation application will be submitted to the Wisconsin Department of Safety and Professional Services (DSPS) and the McFarland Fire Inspector. A copy of the approved application can be provided to the Plan Commission upon request. The Site is a petroleum bulk terminal facility. U.S. Venture owns the Site and will be operating the propane system.

The proposed propane system has been designed in accordance with Wisconsin Administrative Code (WAC) SPS 340 and National Fire Protection Association (NFPA) 58, 2011 edition. It will consist of one (1) Propane Rail Car offloading site, two (2) 30,000 gal Propane Pressure Vessels, one (1) Propane Truck loading site, one (1) Propane Liquid Pump, one (1) Propane Vapor Compressor and all necessary 6", 4", 3" and 2" Liquid/Vapor lines needed to interconnect the system. All equipment will be purchased new and installed above ground. Approximately 25' of 6" Liquid, 160' of 4" Liquid, 100' of 3" Vapor and 60' of 2" Vapor lines will be installed above ground. The two (2) 30,000 gal Propane Pressure Vessels were purchased used and are currently in US Venture's possession. All piping will be carbon steel with threaded and welded connections that meet ASME Process Piping Section B31.3 requirements. The above ground piping and equipment will be painted for corrosion protection. The corrosion protection will be designed and installed by a licensed Wisconsin corrosion system expert (Wisconsin Administrative Code SPS 305.89).

The proposed system is to enable the Site to bring Propane in via Rail Car, unload it into the onsite storage vessels and then load it into Tractor Trailers for transport offsite. This installation will not affect site staffing or require modifications to site utilities or alter sewer or water use. The facility is surrounded by a fence and has a closed circuit surveillance system, and access to the facility is controlled. An identical system is currently installed and in operation at the site for Butane usage.

The siting of the system was chosen to ensure the required setbacks from sensitive material and landmarks. The propane vessels will be located approximately 505 ft from the western property line,

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VILLAGE OF MCFARLAND



US Oil – Madison Terminal Propane Project McFarland, WI

May 6, 2016

450 ft from the southern property line, 350 ft from the eastern property line, 1,325 ft from the northern property line and approximately 105 ft from the nearest building (North Load Rack) in accordance with NFPA 58 Section 6.3.3. Refer to **MD0204 Sheet 1 & 2** for system location.

The Propane Storage Vessels shall be placed on precast concrete saddles. To adequately support them, the ground at each saddle location shall be excavated until a soil with suitable bearing strength is reached. The hole will then be backfilled/compacted with crushed stone until the desired bottom of saddle elevation is reached. This form of foundations has been successfully preformed to support similar butane pressure vessels at this site. Due to the low amount of impermeable material being used in this project, no changes are planned to the existing storm water plan.

Appropriate safety measures are included in the system design. The security fence is installed along the perimeter of the entire U.S. Venture property to prevent unauthorized access. All components of the propane system near normal egresses will be surrounded by concrete-filled bollards or concrete barriers to provide crash protection (**MD0204 Sheet 2**). The pressure vessels will have pressure relief valves sized in accordance with ASME requirements for that vessel and excess flow valves. The rail car offloading and truck loading connections will have emergency stop devices and backflow check valves. The pump/compressor skid will also have a disconnect switch and emergency stop button in accordance with NFPA 58 Section 6.18.2.4. Appropriate signage will be placed on the propane system, tanker cars, and on the emergency stop button in accordance with WAC SPS 340.43 and NFPA 58 for wording, size and lettering. The electrical equipment associated with the propane system will have Underwriters Laboratory (UL) certification and meet the classification requirements of NFPA 58 Section 6.22.2.2. A fire safety analysis (FSA) and process hazard analysis (PHA) were completed for the initial butane system at the property. Both of these safety documents will be reviewed and updated for the proposed propane system addition.

If you have any questions/concerns or require any additional information regarding the enclosed information, please contact Dan Morrill at 920-243-5704 or email me at dmorrill@usoil.com.

Sincerely,

Kris Kreh, PE

Engineering Manager

U.S. Oil

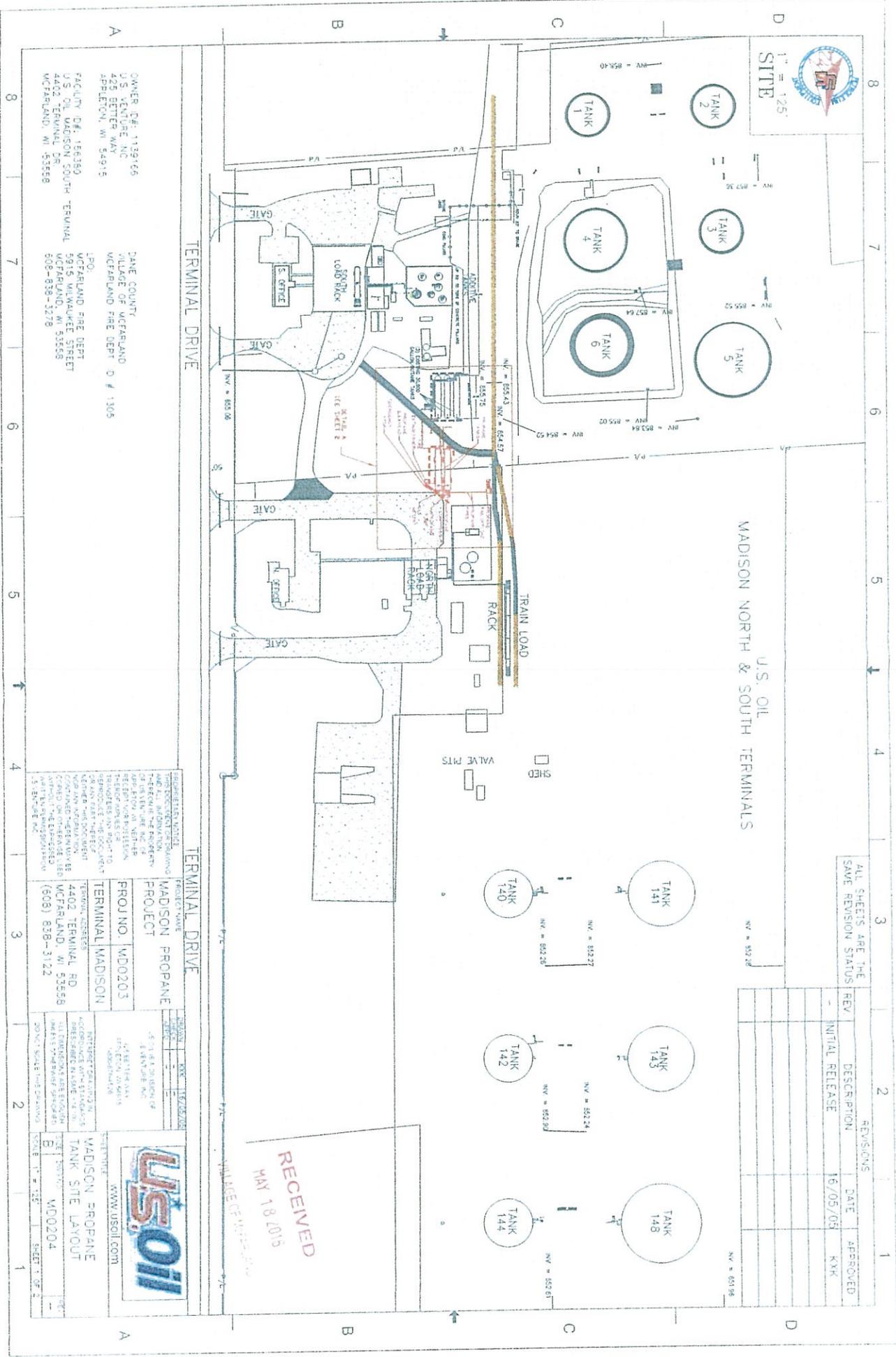
906.280.0970 cell phone

KKreh@usoil.com email

The logo for US Venture, featuring the letters 'US' in a stylized, bold font with a star above the 'S', followed by the word 'Venture' in a similar bold font.



1" = 125'
SITE



MADISON NORTH & SOUTH TERMINALS

TERMINAL DRIVE

TERMINAL DRIVE

OWNER: JCF: 1139+66
U.S. VENTURE INC
425 BETTER WAY
APPLETON, WI 54915

OWNER: JCF: 1139+66
DANE COUNTY
VILLAGE OF MCFARLAND
MCFARLAND FIRE DEPT. D # 1305
MCFARLAND FIRE DEPT.
JCF: 1139+66
MCFARLAND FIRE DEPT
5915 MILWAUKEE STREET
MCFARLAND, WI 53558
508-838-3278

ALL SHEETS ARE THE SAME REVISION STATUS

REV	DESCRIPTION	DATE	APPROVED
-	INITIAL RELEASE	16/05/08	KXX

REVISIONS

NO.	DESCRIPTION	DATE	APPROVED

UNDESIGNED/NOTED
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DATE 08/20/08 BY 60322

PROJECT NAME: MADISON PROPANE PROJECT
PROJECT NO.: MD0203
TERMINAL: MADISON

TERMINAL ADDRESS:
4402 TERMINAL RD
MCFARLAND, WI 53558
(608) 838-3122

DATE: 12/20/08
BY: JCF: 1139+66
APP: JCF: 1139+66

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DATE 08/20/08 BY 60322
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DATE 08/20/08 BY 60322

SCALE: AS SHOWN

DATE: 12/20/08
BY: JCF: 1139+66
APP: JCF: 1139+66

DATE: 12/20/08
BY: JCF: 1139+66
APP: JCF: 1139+66



TERMINAL: MADISON PROPANE
TANK SITE LAYOUT
PROJECT NO.: MD0204
SHEET 1 OF 2

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1" = 20'
DETAIL A

INV. = 855.43

INV. = 854.57

INV. = 855.75

PROPRANE TANKS

EXISTING PIPE BRIDGE

(3) EXISTING 30,000 GALLON BUTANE TANKS

EMERGENCY STOP
PROPRANE BULKHEAD

EXTINGUISHER
FIRE

44'-9"

5'

PROPRANE RAIL OFFLOAD
PROPRANE PIPES

PROPRANE COMPRESSOR

PROPRANE PUMP

LEL METER

ALL SHEETS ARE THE SAME REVISION STATUS		REVISIONS	
REV	DESCRIPTION	DATE	APPROVED
-	INITIAL RELEASE	16/05/05	KKK

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PROJECT NAME
MADISON PROPANE
PROJECT
PROJECT NO. W00203
TERMINAL MADISON
TERMINAL ADDRESS
4402 TERMINAL RD
MORTAFLAND, WI 53558
(608) 838-3122

DESIGNER
DATE
SCALE
1" = 20'

PREPARED BY
CHECKED BY
DATE
SCALE
1" = 20'



PROJECT TITLE
MADISON PROPANE
TANK SITE LAYOUT
SHEET NUMBER
W00204
SHEET 2 OF 2

AN ORDINANCE REZONING LANDS IN THE VILLAGE OF MCFARLAND ALONG PAULSON ROAD FROM THE M-IC MANUFACTURING-INTENSIVE DISTRICT TO THE R-3 GENERAL RESIDENCE DISTRICT

The Village Board of the Village of McFarland do hereby ordain as follows:

1. Section 62-62(c) of the McFarland Municipal Code and the Official Zoning Map, adopted on April 3, 2003, are hereby amended so that the following described real estate is hereby rezoned from the M-IC Manufacturing-Intensive District to the R-3 General Residence District and shall henceforth be subject to the regulations contained in Sections 62-68(i), and 62-69 and 62-80 of the McFarland Municipal Code as applicable to the R-3 District. The legal description of the property rezoned is as follows:

Part of the Southeast ¼ of the Southeast ¼, Section 34, Township 7 North, Range 10 East, in the Village of McFarland, Dane County, Wisconsin, more particularly described as follows: Beginning at the city monument at the South ¼ corner of said Section 34; thence North 1°55'49" West along the North-South ¼ line, 509.91 feet; thence South 88°04'04" West, 319.64 feet to the Easterly line of a proposed road; thence South 1°55'49" East 332.04 feet along said Easterly line and said line extended Southerly to the Northeasterly right-of-way line of the Chicago, Milwaukee, St. Paul and Pacific Railway right-of-way; thence South 41°34'20" East, 226.55 feet to the South line of said Section 34; thence North 88°34'20" East along said South line 173.20 feet to the point of beginning of this description.

2. The Zoning Administrator is hereby directed to label these changes on the Official Zoning Map.

3. This Ordinance shall take effect [upon passage and publication].

The above and foregoing Ordinance was duly adopted at a regular meeting of the McFarland Village Board on the ____ day of _____, 2016.

APPROVED:

Brad Czebotar, Village President

ATTEST:

Cassandra Suettinger, Clerk
4838-6744-2738, v. 1

ORDINANCE 2016 - 0__	
MOTION	SECOND
r	
ACTION	DATE
Adopted	
Referred	
Tabled	
Withdrawn	
Defeated	
Published	
INDIVIDUAL VOTING RECORD	
Adrian	Lytle
Brassington	Mooney
Czebotar	Utter, C
Kolk	
VOTING RESULTS	
Motion Carried:	
Motion Defeated:	

Site Information

- 2.9 acres site located at the corner of Paulson and Ridge Road
- Properties located on adjacent property line;
 - 6 duplexes
 - 1 Commercial business
- The site has been listed for sale for approximately 5 years and the owner has not received any offers from business or residential buyers.
- Drawbacks of the site that has deterred development include;
 - Extensive infrastructure including storm water, water / sewer, and utility extensions.
 - Topography issues
 - Dumped materials on site
- For residential purposes, the site offers a high walkability score as it's close to amenities including grocery, pharmacy, food, daycare, and other local businesses.

Description of Development

- The development consists of eleven rental duplexes with a mix of single and two-story buildings and would be locally managed and owned by Spanrie Property Group.
- Building Features;
 - Square footage for each side would range from 1,600 – 1,950 square feet
 - Each unit would have three bedrooms, 2-2.5 baths, and 2 car garages
 - Each building will have a mix of brick, stone or vinyl exteriors
 - Large front doors with sidelight glass
 - Patios and Decks
- Phased Development
 - Phase I: 6 duplexes
 - Based on approvals, construction could start in Summer/Fall of 2016 and be ready for occupancy in Spring/Summer of 2017.
 - Phase II: 5 duplexes
 - Based on market demand but potential occupancy in 2018
- Building Design
 - With a mix of single and two-story buildings as well as different color and materials on the buildings, each building will look unique but will also show consistency within the development.

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VILLAGE OF MCFARLAND

Target Market

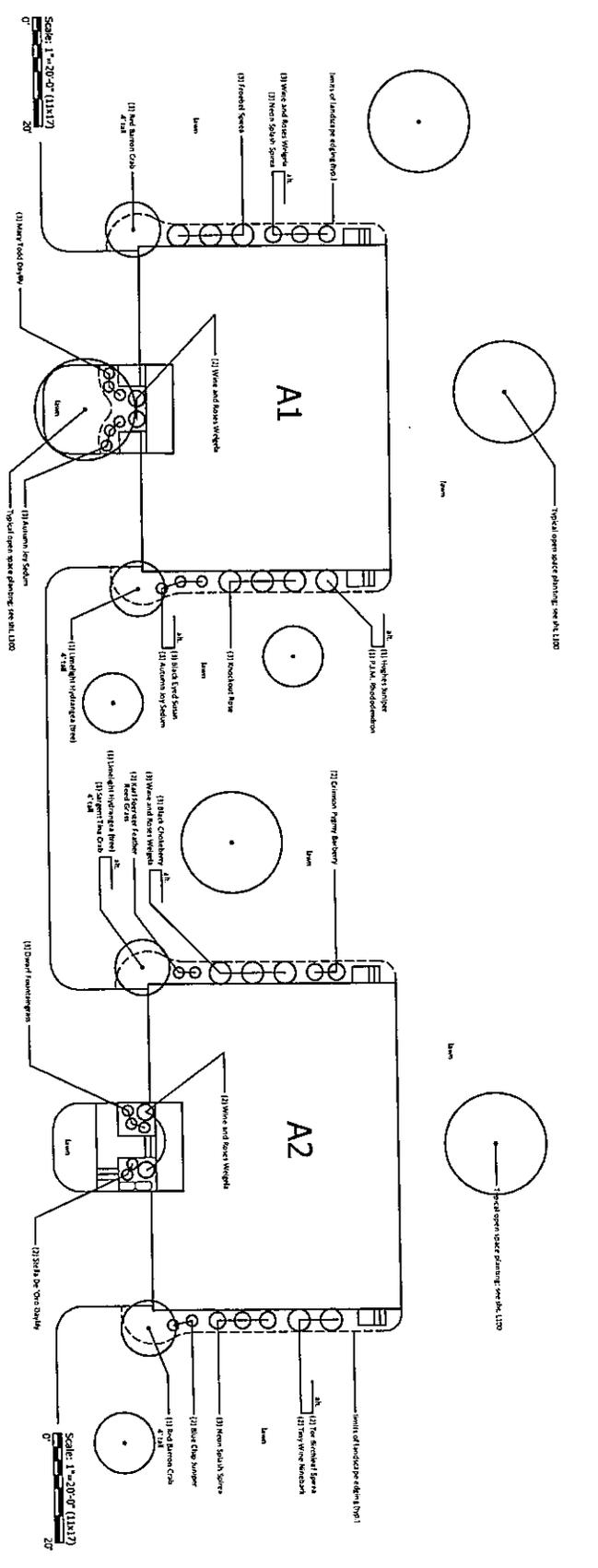
- Based on a 3rd party market study, the vacancy for duplexes in the Village of McFarland is less than 1%. The study showed a need for newer, quality duplex rentals with three bedrooms.
- Target market includes;
 - Young families
 - Empty nesters
 - People that desire more space than a typical multi-story rental building but choose not to own their home

Zoning Change Request

- Current Zoning – M-L1
 - Permitted Uses include, but not limited to;
 - Trucking
 - Manufacturing
 - Industrial Equipment Rental
 - Construction Contractors
- New Zoning Request – R-3
 - This zoning would allow for multifamily with density of 8 units per acre and this development is under the maximum allowed.
- Village Comprehensive Plan
 - Shows this site as **Planned Mixed Use** which includes a mix of commercial, office, light assembly and/or residential uses.

Public Works

- During a meeting with public works, we discussed the following items;
 - Traffic
 - Public Works suggested and we've agreed to make the development one-way to allow for better safety and flow in and out of the property.
 - Sidewalk
 - It was brought to our attention that a sidewalk connecting this site to Valley Drive is desirable. We have agree to add a sidewalk (as shown on the site plan) from the first driveway to the property line on Ridge Road. The Village would then continue the sidewalk to Valley Drive.

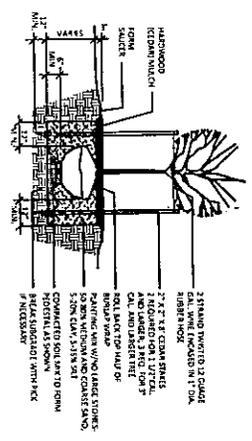


1 TYPICAL DUPLEX LANDSCAPE PLAN - TYPE A1 BUILDING

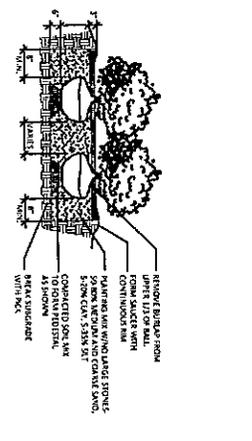
GENERAL NOTE:
 1. Typical planting plan represents 50% of landscape items.
 2. Final adjustments will be necessary based on final utility, retaining wall, driveway, and deck locations.
 3. See Overall Landscape Plan for building to receive alternative landscape plantings if identified.

2 TYPICAL DUPLEX LANDSCAPE PLAN - TYPE A2 BUILDING

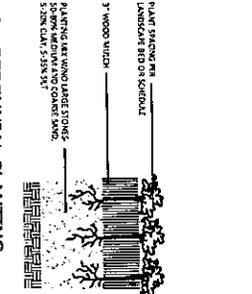
GENERAL NOTE:
 1. Typical planting plan represents 50% of landscape items.
 2. Final adjustments will be necessary based on final utility, retaining wall, driveway, and deck locations.
 3. See Overall Landscape Plan for building to receive alternative landscape plantings if identified.



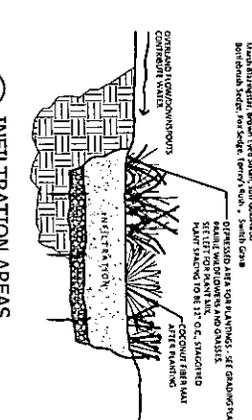
3 TREE PLANTING



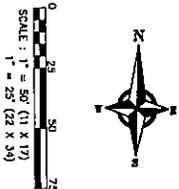
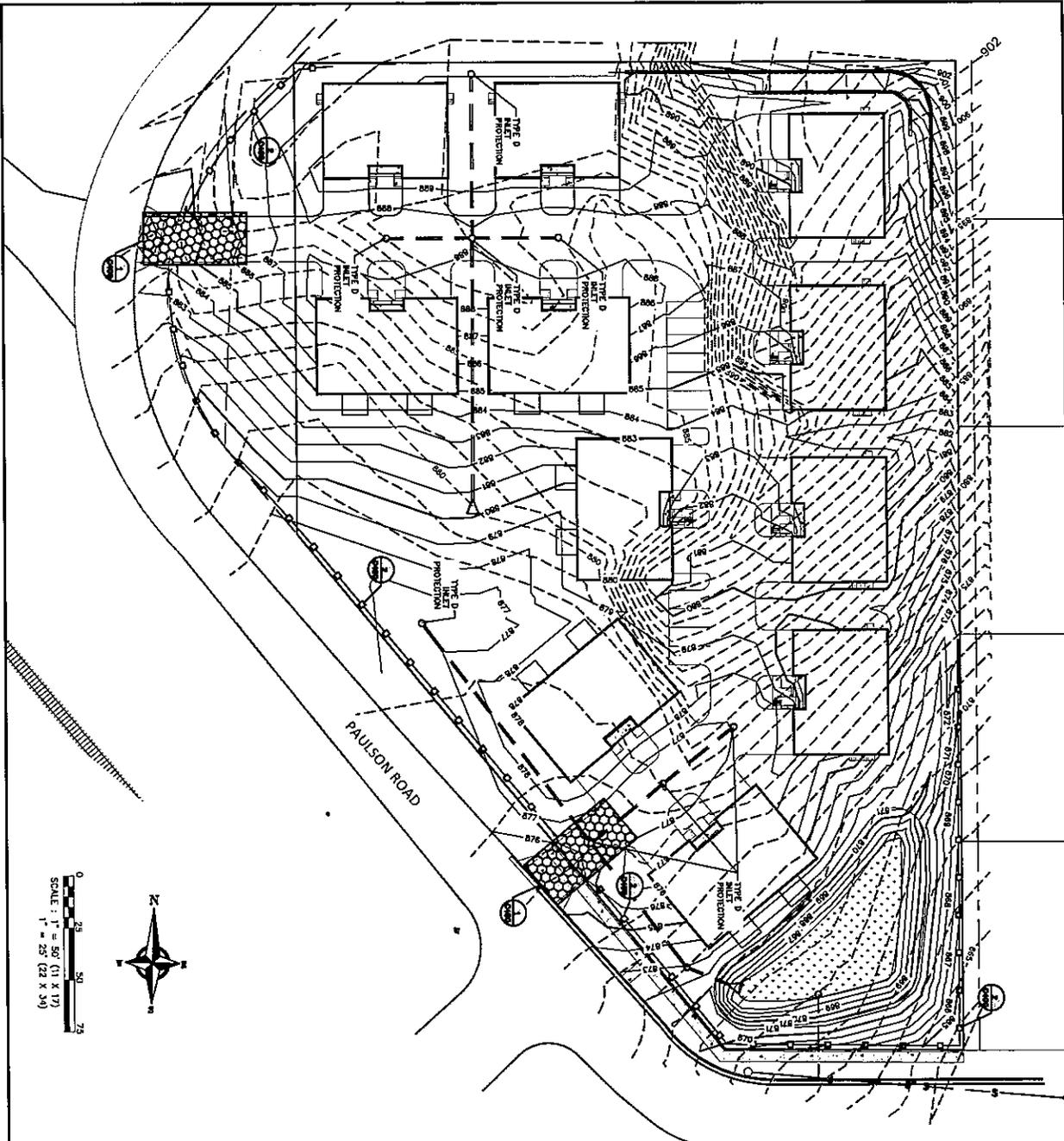
4 SHRUB PLANTING



5 PERENNIAL PLANTING

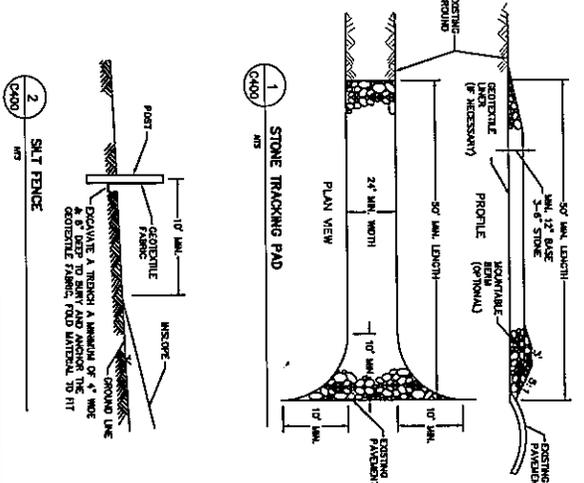


6 INFILTRATION AREAS



EROSION CONTROL NOTES

- (1) THE CONTRACTOR SHALL MAINTAIN AND MONITOR EROSION CONTROL DEVICES FROM THE START OF LAND DISTURBING CONSTRUCTION ACTIVITIES UNTIL FINAL STABILIZATION OF THE CONSTRUCTION SITE.
- (2) ALL EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH VALUE OF DISTURBED AREA (VDA) CHARTS AND EROSION AND SEDIMENT CONTROL TECHNIQUE STANDARDS. THE VALUE OF VDA SHALL BE DETERMINED BY THE CONTRACTOR AND SHALL BE REPORTED TO THE OWNER. THE VALUE OF VDA SHALL BE REPORTED TO THE OWNER IN WRITING. THE VALUE OF VDA SHALL BE REPORTED TO THE OWNER IN WRITING.
- (3) CLEANING, MAINTENANCE AND REPAIRS SHALL BE THOROUGHLY CARRIED OUT BEFORE THE END OF EACH WORKING DAY THROUGHOUT THE CONSTRUCTION PERIOD.
- (4) RESTORATION MEASURES SHALL BE INSTALLED AS NOTED IN THE CONSTRUCTION SCHEDULE. RESTORATION SHALL BE COMPLETED AS NOTED IN THE CONSTRUCTION SCHEDULE. RESTORATION SHALL BE COMPLETED AS NOTED IN THE CONSTRUCTION SCHEDULE.
- (5) PROTECTION OF EXISTING UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL MAINTAIN EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES. THE CONTRACTOR SHALL MAINTAIN EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES.
- (6) STONE TRACKING PADS, BEFORE BEGINNING CONSTRUCTION, CONTRACTOR SHALL INSTALL A STONE TRACKING PAD AT EACH POINT WHERE VEHICLES ENTER/EXIT THE CONSTRUCTION SITE. THE TRACKING PAD SHALL BE 10' WIDE AND 12' LONG. THE TRACKING PAD SHALL BE 10' WIDE AND 12' LONG. THE TRACKING PAD SHALL BE 10' WIDE AND 12' LONG.
- (7) SILT FENCES SHALL BE SUBJECT TO DRAINAGE. SILT FENCES SHALL BE INSTALLED WITH TYPE D SILT FENCES. SILT FENCES SHALL BE SUBJECT TO DRAINAGE. SILT FENCES SHALL BE INSTALLED WITH TYPE D SILT FENCES.
- (8) EROSION MAT AREAS OR EMBANKMENTS HAVING SLOPES GREATER THAN OR EQUAL TO 4:1 V:1 H SHALL BE STABILIZED WITH WOODCHIPS OR COARSE 1" GRAVEL. TYPE B EROSION MAT AREAS SHALL BE STABILIZED WITH WOODCHIPS OR COARSE 1" GRAVEL. TYPE B EROSION MAT AREAS SHALL BE STABILIZED WITH WOODCHIPS OR COARSE 1" GRAVEL.
- (9) TEMPORARY EROSION CONTROL, ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. TEMPORARY EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
- (10) STABILIZATION, STABILIZE AREAS OF PAUL CRACKING WITHIN 7 DAYS OF FINISHING FINAL GRADE.
- (11) TOPSOIL, A MINIMUM OF 4" THICKNESS OF TOPSOIL MUST BE APPLIED TO ALL AREAS TO BE SEEDING OR SOILED.
- (12) SEEDING, SEED MIXTURE SHALL BE APPLIED AT A RATE OF 2.000 PER 1,000 SQ FT OF AREA OR AS NOTED ON THE LANDSCAPE PLAN.
- (13) STOPPAGES, IMMEDIATELY STABILIZE STOPPAGES AND SURROUNDING STOPPAGES AS NOTED WITH SILT FENCE OR OTHER PERMITTER CONTROL. STOPPAGES WILL REMAIN BAFFLE FOR 7 DAYS ON LUMBER.

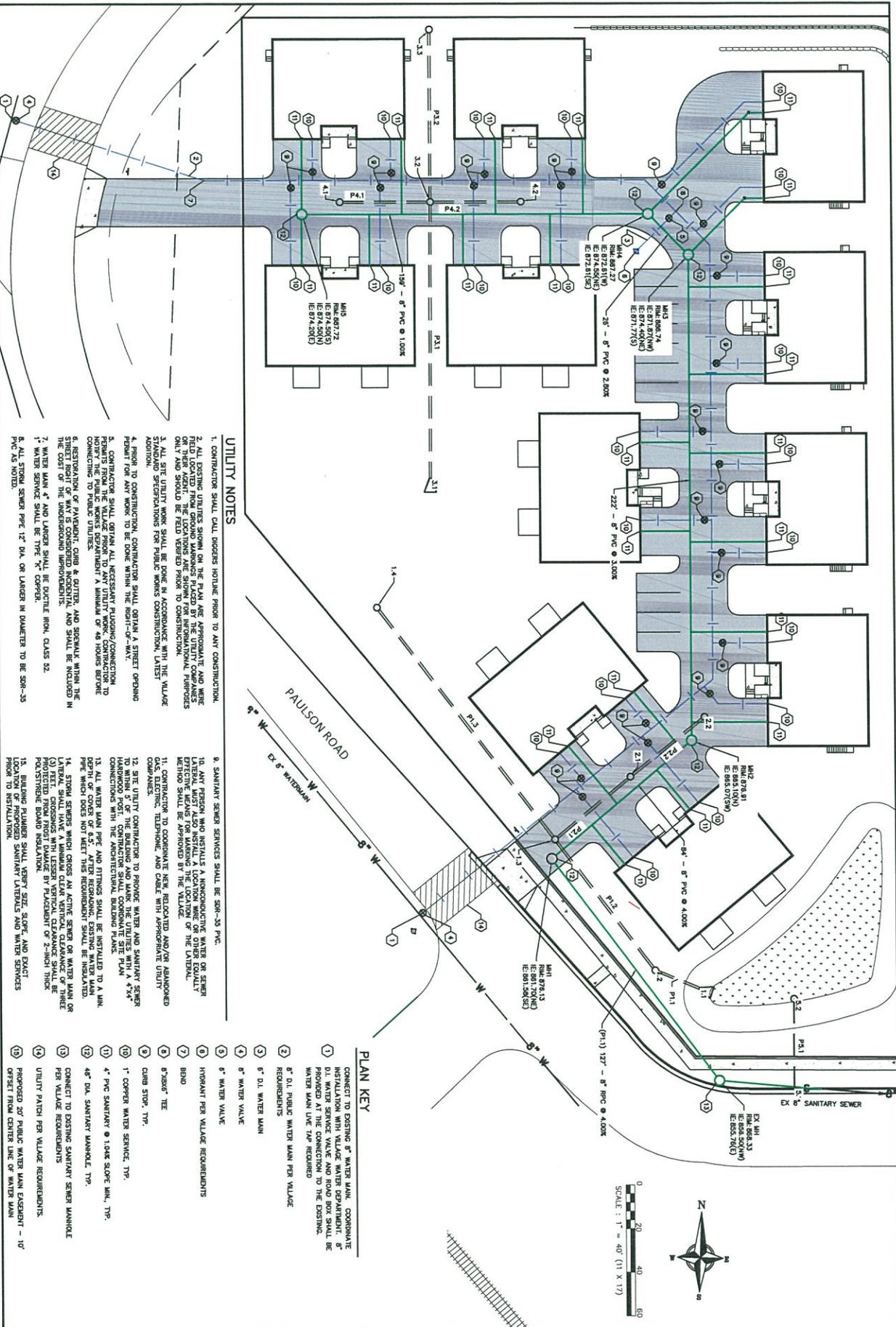


C400

PAULSON RD APARTMENTS
EROSION CONTROL PLAN
 5401 PAULSON ROAD
 MCFARLAND, WISCONSIN

PROFESSIONAL ENGINEERING
 LLC
 816 N Meadowbrook Ln
 Waunakee, WI 53597
 phone (608) 849-9378
 fax (608) 237-2129

ISSUANCE/REVISION	DATE
SITE PLAN APPROVAL	05/18/18



UTILITY NOTES

1. CONTRACTOR SHALL CALL DIGGERS NOTICE PRIOR TO ANY CONSTRUCTION.
2. ALL EXISTING UTILITIES SHOWN ON THE PLAN ARE APPROXIMATE AND WERE OBTAINED FROM THE VILLAGE DEPARTMENT OF PUBLIC WORKS. THE CONTRACTOR SHALL VERIFY THE LOCATIONS AND DEPTHS FOR INFORMATIONAL PURPOSES ONLY AND SHOULD BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
3. ALL SITE UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE VILLAGE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION. LATEST EDITION TO CONSTRUCTION CONTRACTOR SHALL OBTAIN A STREET OPENING PERMIT FOR ANY WORK TO BE DONE WITHIN THE RIGHT-OF-WAY.
4. CONTRACTOR SHALL OBTAIN ALL NECESSARY PLUMBING CONNECTION PERMITS FROM THE VILLAGE PRIOR TO ANY UTILITY WORK. CONTRACTOR TO NOTIFY THE PUBLIC WORKS DEPARTMENT A MINIMUM OF 48 HOURS BEFORE CONNECTIONS TO PUBLIC UTILITIES.
5. RESTORATION OF PAVEMENT, CURB & GUTTER, AND SIGNALS WITHIN THE RIGHT-OF-WAY SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AT THE COST OF THE UNDERGROUND IMPROVEMENTS.
6. WATER MAIN, 4" AND LARGER SHALL BE DUCTILE IRON, CLASS 22.
7. WATER SERVICE SHALL BE TYPE "C" COPPER.
8. ALL STORM SEWER PIPE 12" DIA. OR LARGER IN DIAMETER TO BE SDR-35 PVC AS NOTED.
9. SANITARY SEWER SERVICES SHALL BE SDR-35 PVC.
10. ANY PERSON WHO INSTalls A NONCONDUCTIVE WATER OR SANITARY SEWER LATERAL SHALL BE RESPONSIBLE FOR MARKING THE LOCATION OF THE LATERAL. METHOD SHALL BE APPROVED BY THE VILLAGE.
11. CONTRACTOR TO COORDINATE NEW, RELOCATED AND/OR ABANDONED GAS, ELECTRIC, TELEPHONE, AND CABLE WITH APPROPRIATE UTILITY COMPANIES.
12. CONTRACTOR TO PROVIDE WATER AND SANITARY SEWER HARDWOOD POSTS, CONTRACTOR SHALL CORRODATE SITE PLAN CONNECTIONS WITH THE APPROPRIATE BURNING OILS.
13. ALL WATER MAIN PIPE AND FITTINGS SHALL BE INSTALLED TO A MINIMUM OF 5' BELOW FINISHED GRADE. ALL SANITARY SEWER LATERALS SHALL HAVE A MINIMUM CLEAR VERTICAL CLEARANCE OF THREE (3) FEET TO FINISHED GRADE. ALL LATERALS SHALL BE INSULATED WITH POLYSTYRENE BOARD INSULATION.
14. BUILDING PLUMBERS SHALL VERIFY SIZE, SLOPE, AND EXACT LOCATION OF PROPOSED SANITARY LATERALS AND WATER SERVICES PRIOR TO INSTALLATION.

PLAN KEY

1. CONNECT TO EXISTING 8" WATER MAIN, COORDINATE INSTALLATION WITH VILLAGE WATER DEPARTMENT.
2. 0.1" WATER SERVICE VALVE AND ROAD BOX SHALL BE PROVIDED AT THE CONNECTION TO THE DISTING. WATER MAIN USE TAP REQUIRED.
3. 0.1" PUBLIC WATER MAIN PER VILLAGE REQUIREMENTS.
4. 0.1" WATER MAIN.
5. 0.1" WATER VALVE.
6. HYDRANT PER VILLAGE REQUIREMENTS.
7. BIRD.
8. 6" X 6" TIE.
9. 6" DIA. STORM, TYP.
10. 4" P.V.C. SANITARY MANHOLE, TYP.
11. 1" COPPER WATER SERVICE, TYP.
12. 48" DIA. SANITARY MANHOLE, TYP.
13. CONNECT TO EXISTING SANITARY SEWER MANHOLE PER VILLAGE REQUIREMENTS.
14. UTILITY PATCH PER VILLAGE REQUIREMENTS.
15. PROPOSED 24" PUBLIC WATER MAIN ESTIMATED - 10' OFFSET FROM CENTER LINE OF WATER MAIN.

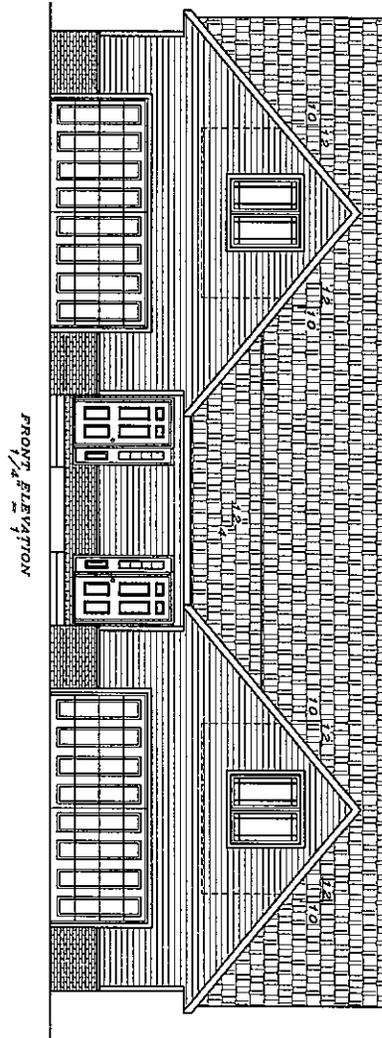
C400

**PAULSON RD APARTMENTS
UTILITY PLAN**
5401 PAULSON ROAD
MCFARLAND, WISCONSIN

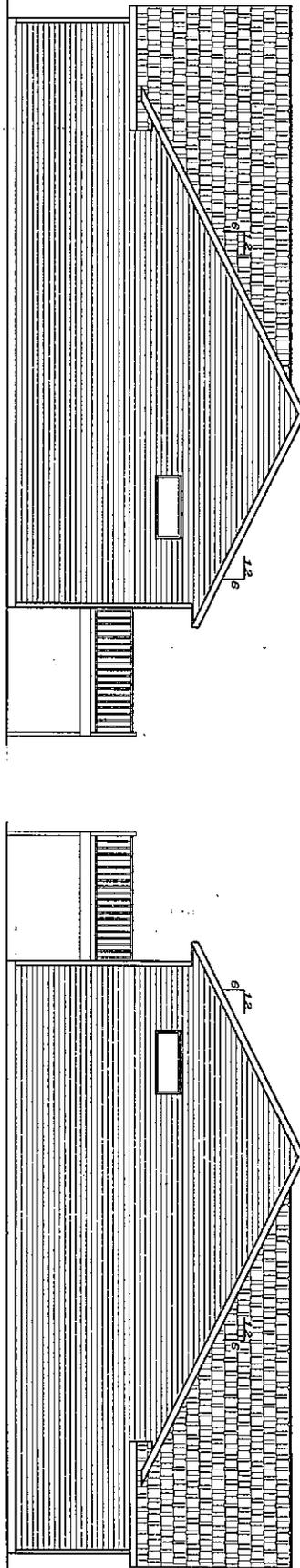
PROFESSIONAL ENGINEERING LLC

818 N Meadowbrook Ln
Waukegan, WI 53597
phone (608) 849-9378
fax (608) 237-2129

ISSUANCE/REVISION	DATE
SITE PLAN APPROVAL	05/18/16

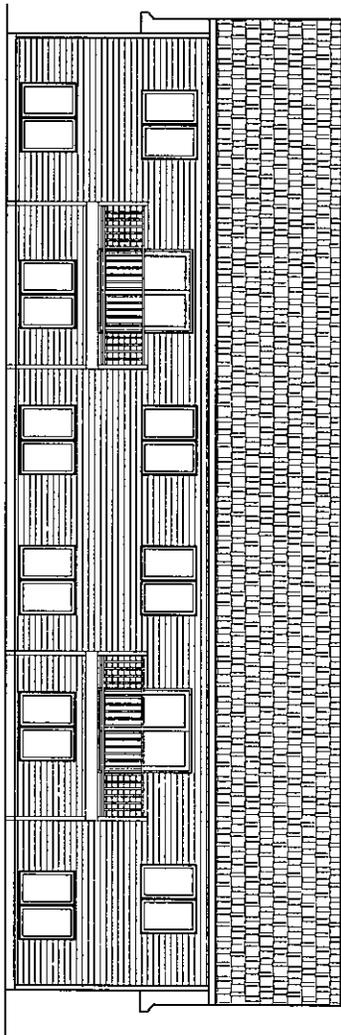


FRONT ELEVATION



RIGHT ELEVATION

LEFT ELEVATION



REAR ELEVATION

THIS IS A PRELIMINARY DRAWING AND NOT TO BE USED FOR CONSTRUCTION. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THIS DRAWING. SEE THE CONTRACT AND SUPPLEMENTAL SPECIFICATIONS FOR FURTHER INFORMATION.

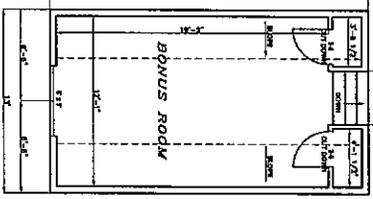
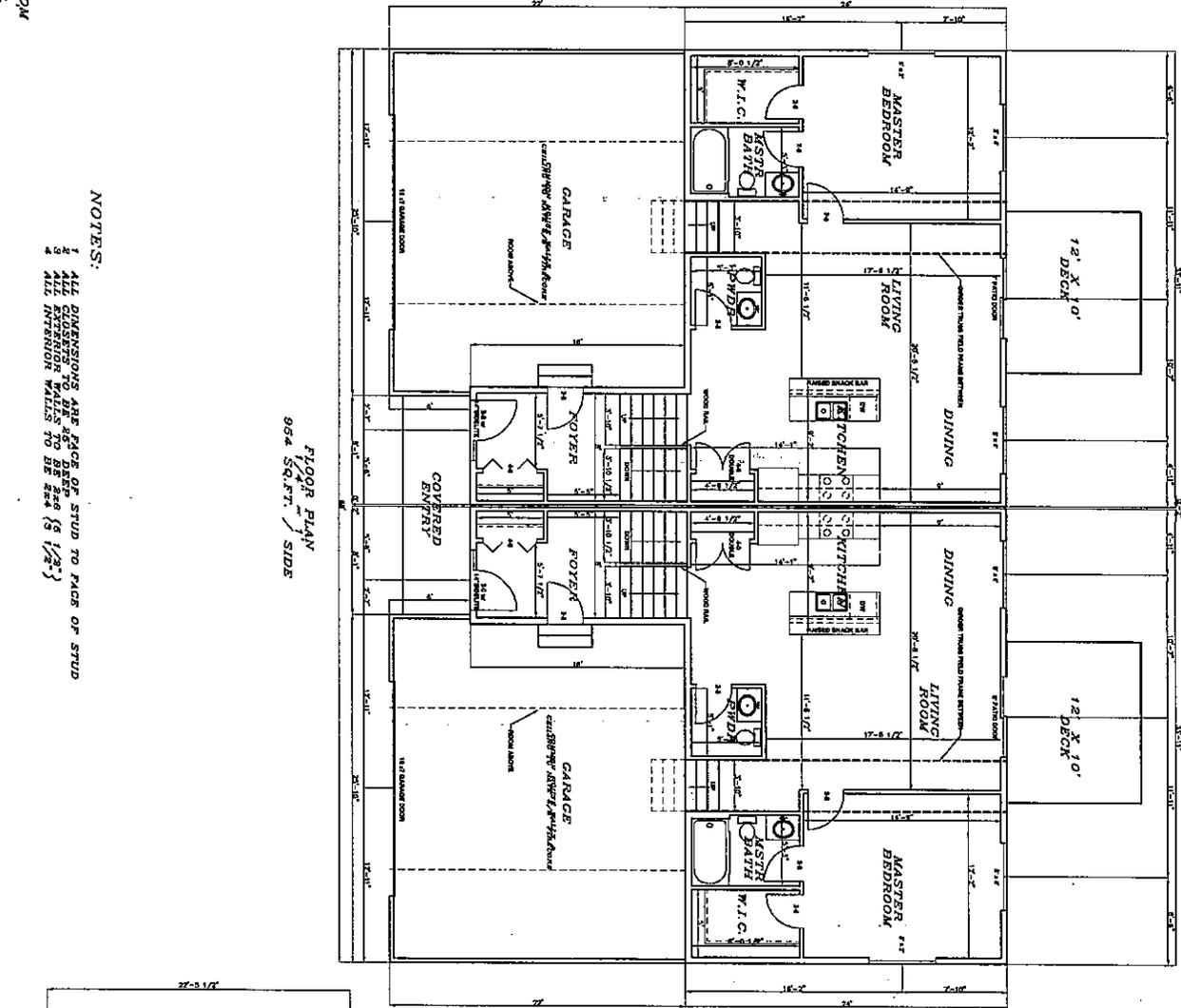
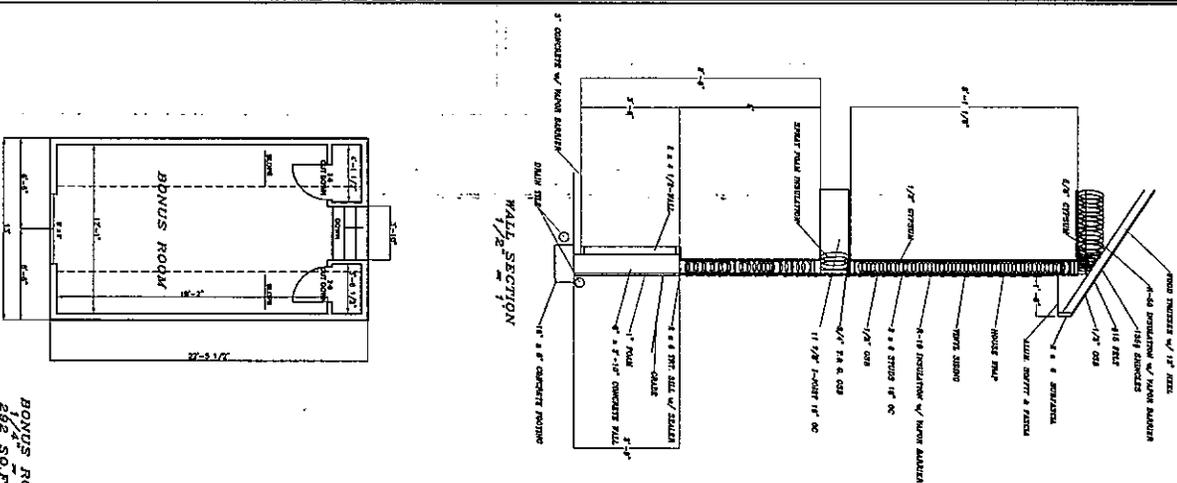
STEVE'S DRAFTING SERVICE
 STEVEN M. BUSS
 602 LOIS DR. SUITE #2
 SUN PRAIRIE, WI 53090
 (262) 657-8888
 E-MAIL: steve_buss@charter.net
 WWW: stevedraftingservice.com

THE SPANOS COMPANY

DUPLEX #2

ELEVATIONS

DATE 4/17/2016
 DRAWN BY SMB
 REVISED 4/30/2016



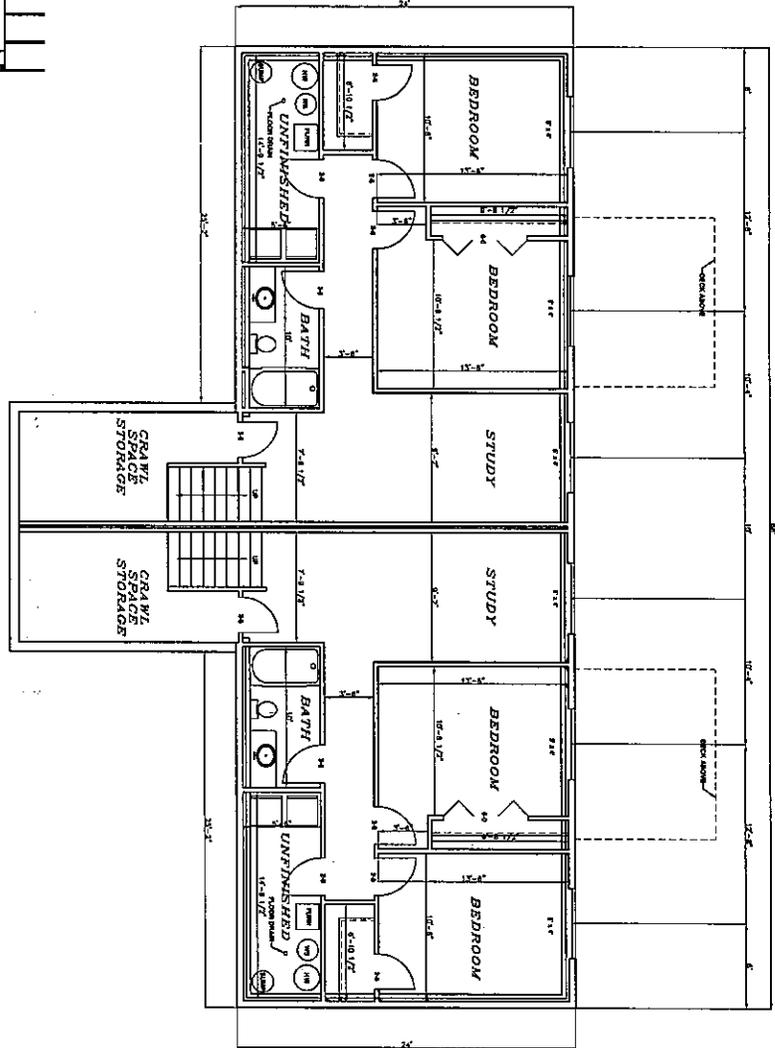
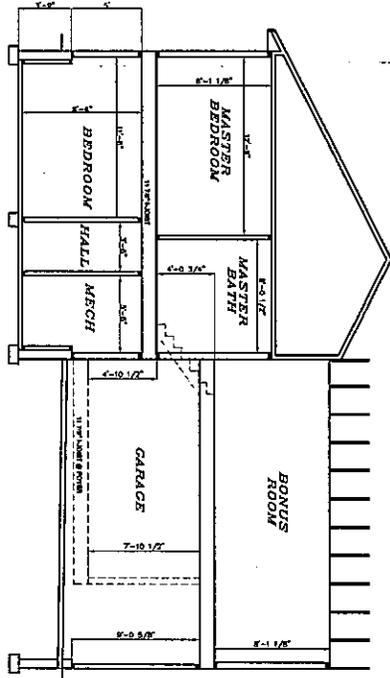
NOTES:
 1 ALL DIMENSIONS ARE FACE OF STUD TO FACE OF STUD
 2 ALL DIMENSIONS ARE FACE OF STUD TO FACE OF STUD
 3 ALL DIMENSIONS ARE FACE OF STUD TO FACE OF STUD
 4 ALL INTERIOR WALLS TO BE 5/8\"/>

BONUS ROOM
 1/4 SECTION
 282 SQ.FT.

BONUS ROOM
 1/4 SECTION
 282 SQ.FT.

STEVE'S DRAFTING SERVICE ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION CONTAINED HEREIN. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATIONS.

STEVE'S DRAFTING SERVICE STEVEN M. BUSS 202 LOG DR. SUITE #2 SUN PRAIRIE, WI 53580 (608)957-8689 E-MAIL: steve@stevedrafting.com WWW.STEVEDRAFTINGSERVICE.COM	THE SPANOS COMPANY		DATE 4/17/2016
	DUPLEX #2		DRAWN BY SMB
FLOOR PLAN			APPROVED 4/30/2016



NOTES:
1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
2. FINISHES TO BE DETERMINED BY THE CLIENT.
3. SEE SEPARATE SHEETS FOR ELECTRICAL AND MECHANICAL DETAILS.
4. SEE SEPARATE SHEETS FOR STRUCTURAL DETAILS.
5. SEE SEPARATE SHEETS FOR FINISHES.

STEVE'S DRAFTING SERVICE
STEVEN M. BUSS
802 LOIS DR. SUITE #2
SUN PRAIRIE, WI 53180
(262) 837-6588
E-MAIL: steve.sds@charter.net
WWW.SDSDRAFTINGSERVICE.COM

THE SPANOS COMPANY

DUPLEX #2

LOWER LEVEL PLAN

DATE 4/17/2016

DRAWN BY SMR

REVISED 4/30/2016

Duplex
The
Spanos
Company

LOCATION:

OWNER:

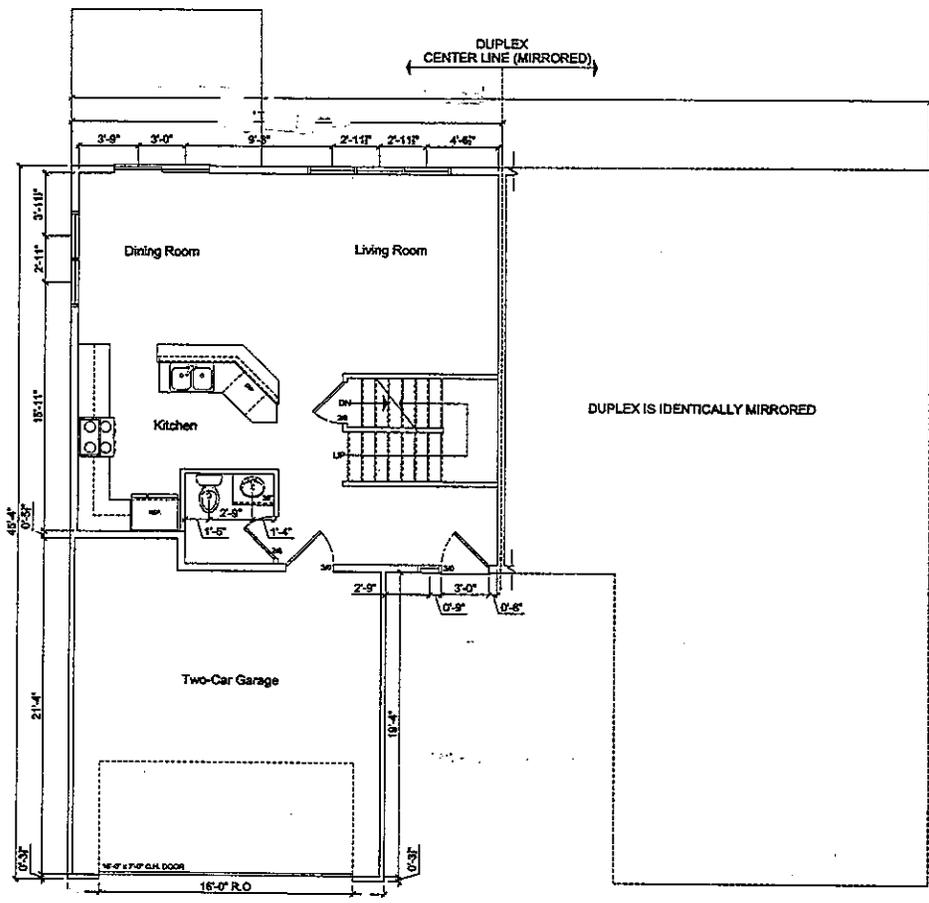
DESIGN / BUILDER:

DATE:	DESCRIPTION:
5/10/15	ISSUE FOR BID

Front / Back Elev.
Scale: 1/4" = 1'-0"

A-4.1





Duplex
The Spanos Company

LOCATION:

OWNER:

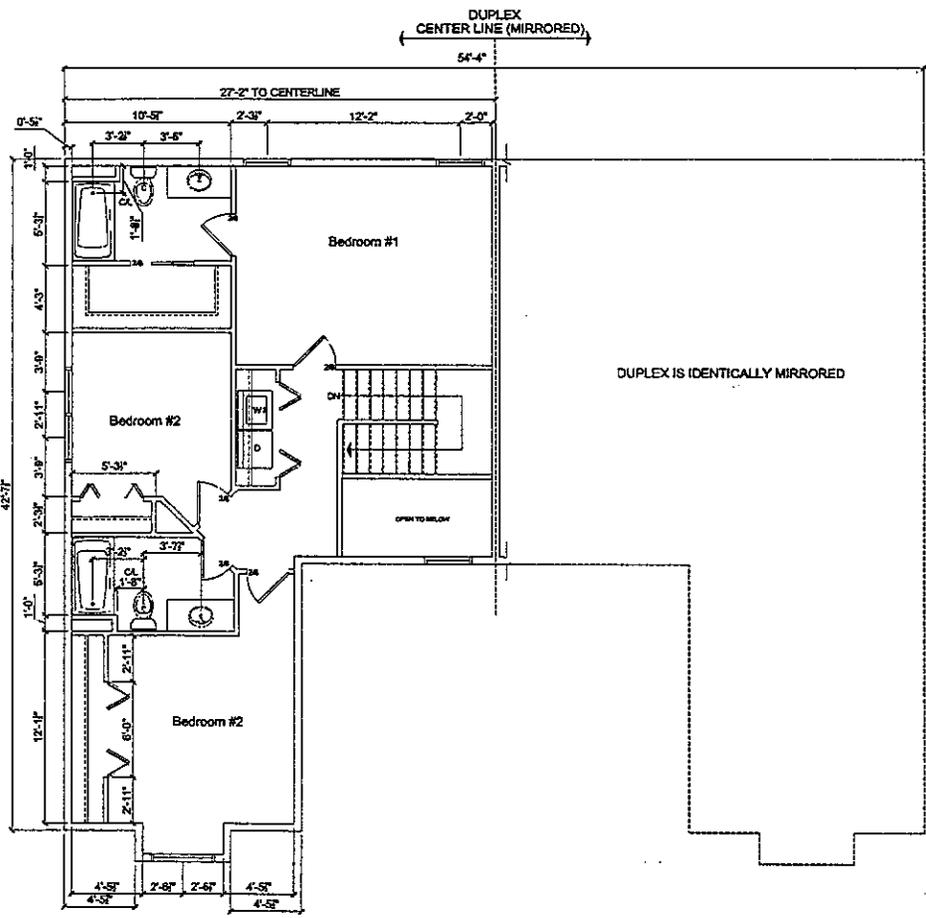
DESIGN / BUILDER:

DATE: DESCRIPTION:

3/10/15	ISSUE FOR BID*
---------	----------------

Full 1st Floor Plan
Scale: 1/4" = 1'-0"

A-1.1



Duplex
The
Spanos
Company

LOCATION:

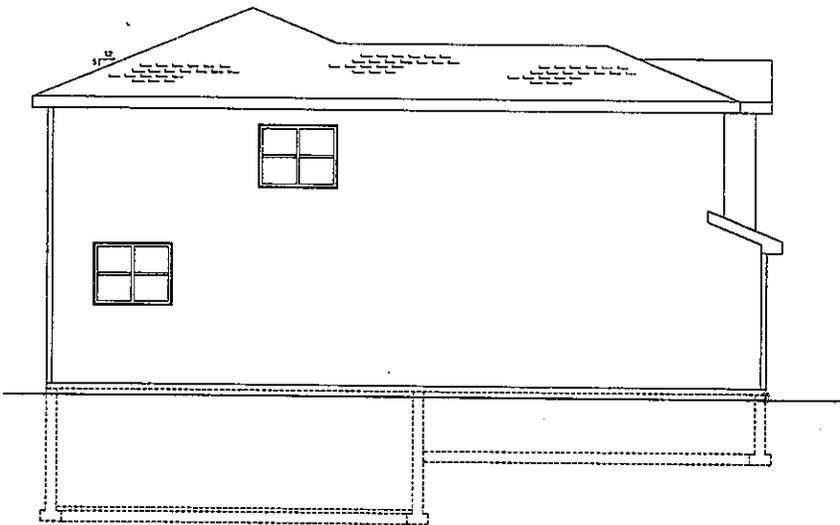
OWNER:

DESIGN / BUILDER:

DATE:	DESCRIPTION:
5/10/15	ISSUE FOR BID

2nd Floor Plan
Scale: 1/4" = 1'-0"

A-2.1



**Duplex
The
Spanos
Company**

LOCATION:

OWNER:

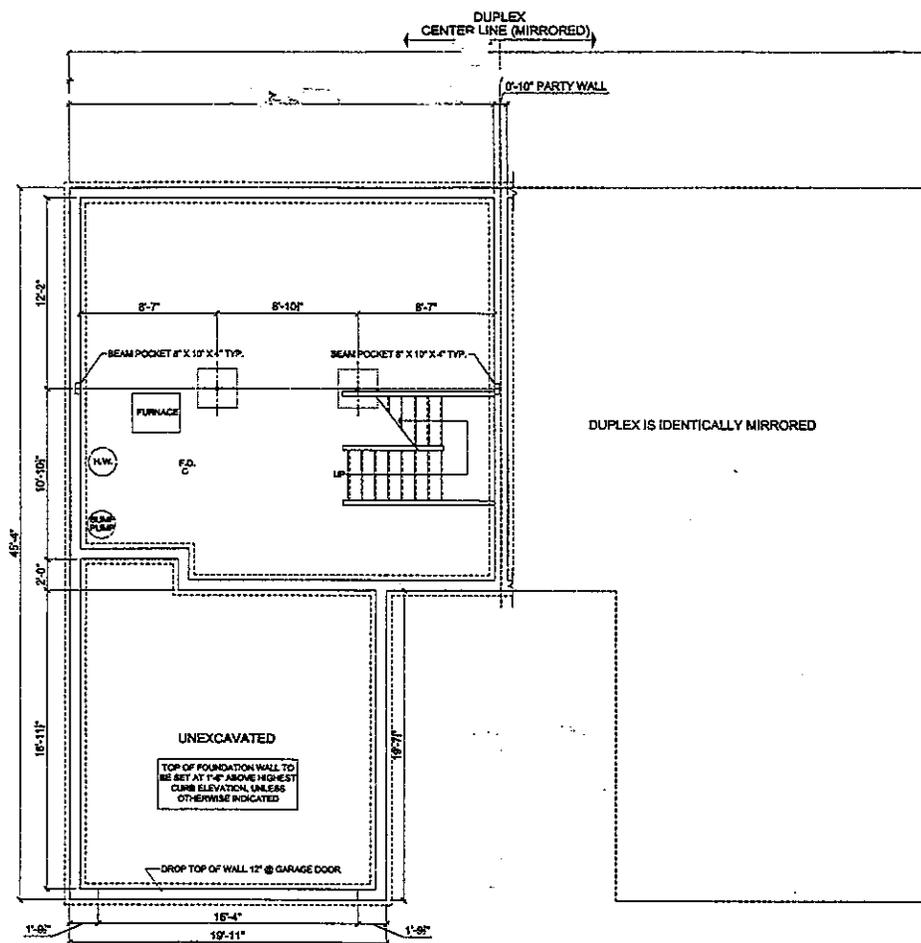
DESIGN / BUILDER:

DATE: DESCRIPTION:

5/10/15 ISSUE FOR BID

Side Elevation
Scale: 1/4" = 1'-0"

A-5.1



Duplex
The
Spanos
Company

LOCATION:

OWNER:

DESIGN / BUILDER:

DATE: DESCRIPTION:

5/10/15

ISSUE FOR BID

Foundation Plan

Scale: 1/4" = 1'-0"

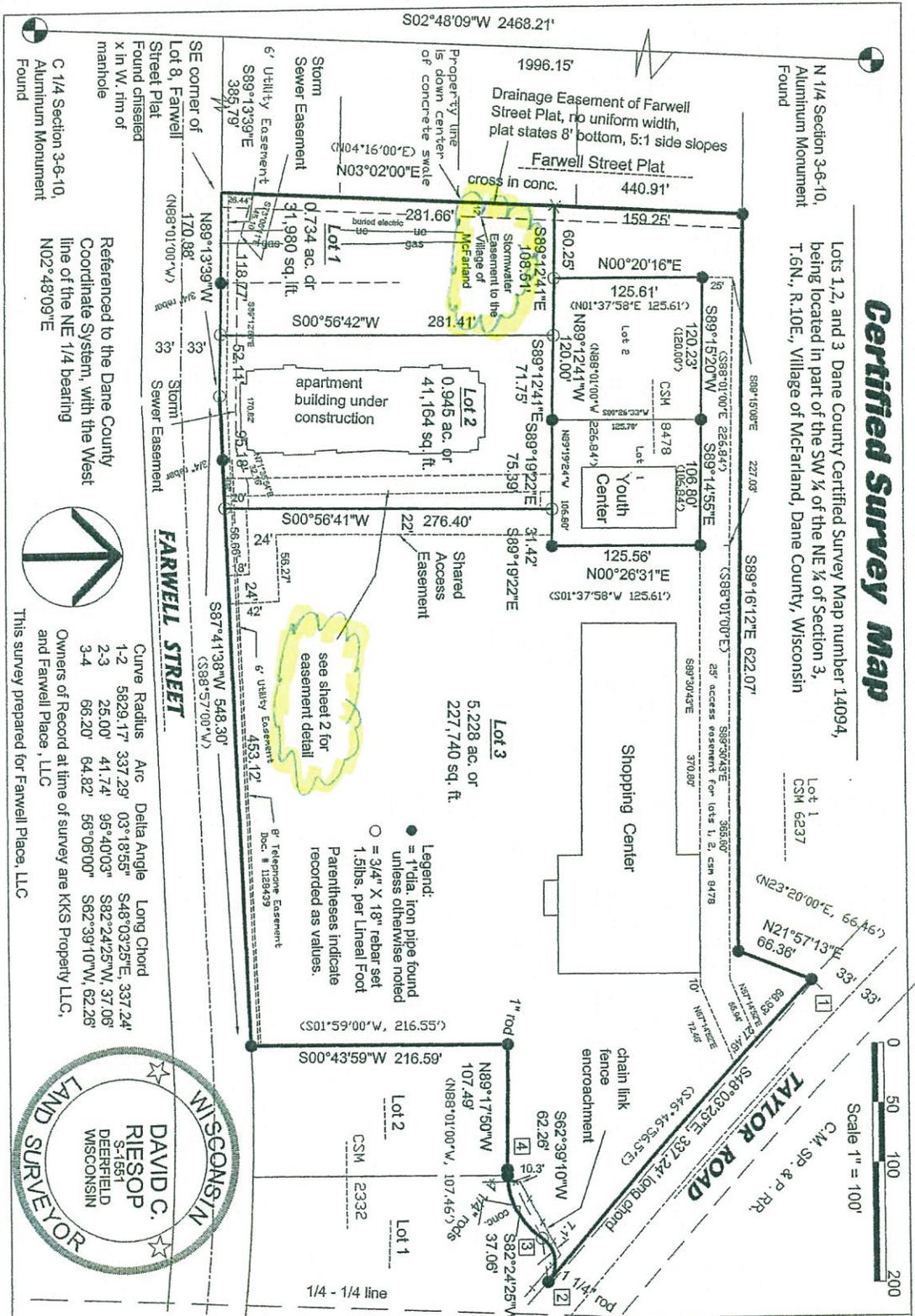
A-3.1

#7

Certified Survey Map

N 1/4 Section 3-6-10, Aluminum Monument Found

Lots 1, 2, and 3 Dane County Certified Survey Map number 14094, being located in part of the SW 1/4 of the NE 1/4 of Section 3, T.6N., R.10E., Village of McFarland, Dane County, Wisconsin



SE corner of Lot 8, Farwell Street Plat Found chiseled x in W. rim of manhole

C 1/4 Section 3-6-10, Aluminum Monument Found

Referenced to the Dane County Coordinate System, with the West line of the NE 1/4 bearing N02°48'09"E



This survey prepared for Farwell Place, LLC

Curve	Radius	Arc	Delta Angle	Long Chord
1-2	5829.17'	337.29'	03°18'55"	S48°03'25"E, 337.24'
2-3	25.00'	41.74'	96°40'03"	S82°24'23"W, 37.06'
3-4	66.20'	64.82'	56°06'00"	S62°39'10"W, 62.26'

Owners of Record at time of survey are KKS Property LLC, and Farwell Place, LLC



Legend:
 ● = 1" dia. iron pipe found unless otherwise noted
 ○ = 3/4" X 18" rebar set 1.5lbs. per Linear Foot
 Parentheses indicate recorded as values.



Wisconsin Mapping, LLC
 * surveying and mapping services
 306 West Quarry Street, Deerfield, Wisconsin 53531
 (608) 764-5602

Dwg. No. 4686A-16 Date 5/06/16
 Sheet 1 of 5
 Document No. _____
 C.S.M. No. V. P.

RECEIVED

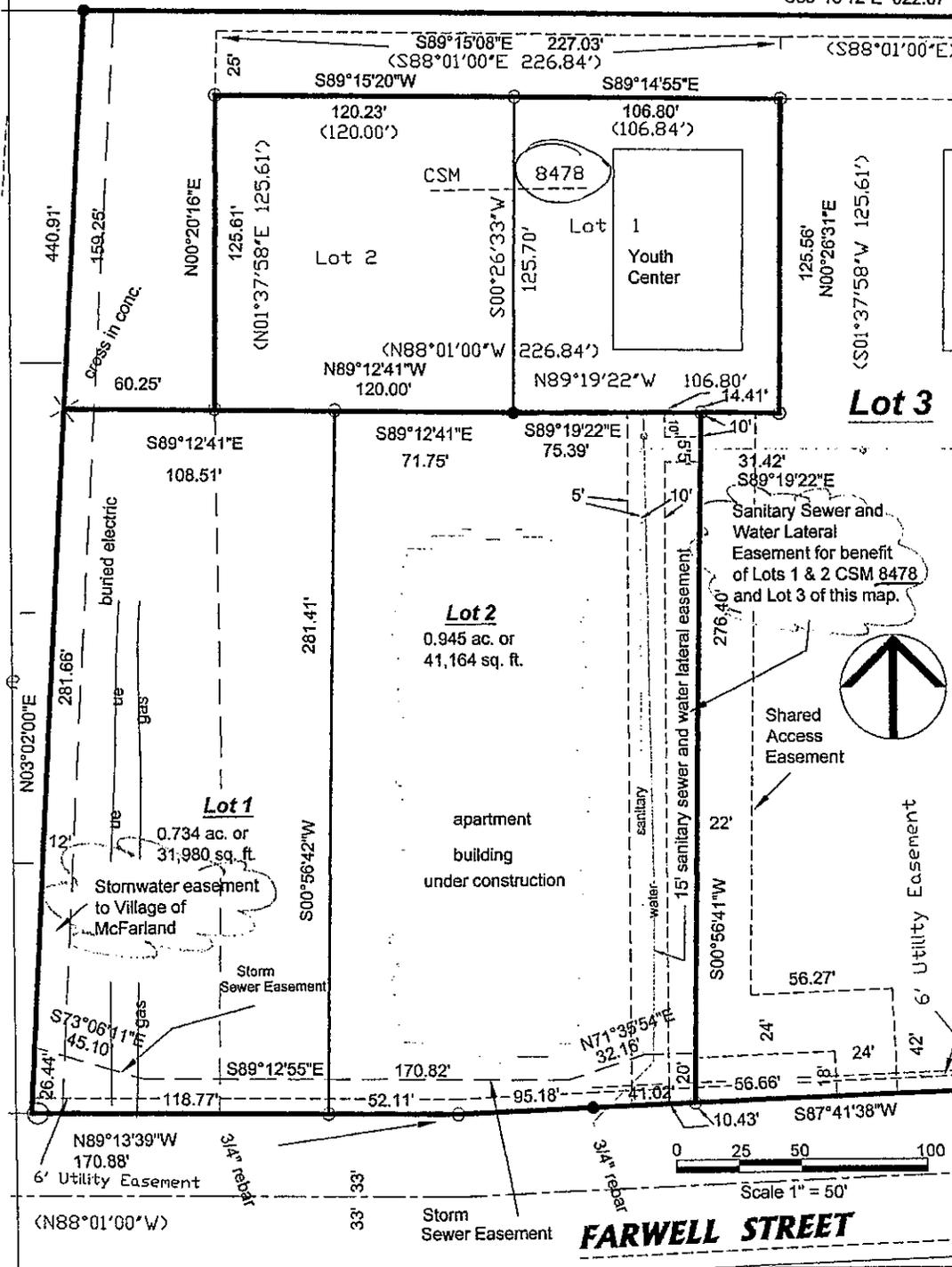
MAY 09 2016

VILLAGE OF MCFARLAND

Certified Survey Map

Lots 1, 2 and 3, Dane County Certified Survey Map Number 14094, being located in part of the SW ¼ of the NE ¼ of Section 3, T.6N., R.10E., Village of McFarland, Dane County, Wisconsin

S89°16'12"E 622.07'



Wisconsin Mapping, LLC
surveying and mapping services
 306 West Quarry Street, Deerfield, Wisconsin 53531
 (608) 764-5602

Dwg. No. 4686A-16 Date 5/08/16
 Sheet 2 of 5
 Document No. _____
 C.S.M. No. _____ V. _____ P. _____

RECEIVED

MAY 09 2016

VILLAGE OF MCFARLAND

Certified Survey Map

Surveyor's Certificate

I hereby certify that in full compliance with the provisions of Chapter 236.34 of the Wisconsin Statutes and the subdivision regulations of the Village of McFarland, and by the direction of Farwell Place LLC, agent for the owners, I have surveyed, divided and mapped the lands described hereon, and that such map correctly represents the exterior boundaries of the lands surveyed and the division of that land, and that this land is located within and more fully described to wit:

Lots 1,2, and 3 Dane County Certified Survey Map number 14094, being located in part of the SW ¼ of the NE ¼ of Section 3, T.6N., R.10E., Village of McFarland, Dane County, Wisconsin. Ccontaining 6.907 acres, or 300,884 square feet

David C. Riesop S-1551

Village Approval

This Certified Survey Map is hereby approved for recording per Village Plan Commission action of _____, 2016 and Village of McFarland Board Action dated _____, 2016.

Tracey Berman, Clerk, Village of McFarland

Register of Deeds Certificate

Received for recording this ____ day of _____, 2016 at _____ o'clock ____ M.
and recorded in Volume _____ of Certified Surveys, Pages _____.

Kristi Chlebowski, Register of Deeds, Dane County

Wisconsin Mapping, LLC

** surveying and mapping services*
306 West Quarry Street, Deerfield, Wisconsin 53531
(608) 764-5602

Dwg. No. 4686A-16 Date 5/06/2016
Sheet 3 of 5
Document No. _____
C.S.M. No. _____ V. _____ P. _____

RECEIVED
MAY 09 2016
VILLAGE OF McFARLAND

Certified Survey Map

Owner's Certificate

As owners, we hereby certify that we have caused the land described on this certified survey to be surveyed, divided, mapped and dedicated as represented on this certified survey map.

KKS Property LLC by: _____

Managing Member

STATE OF WISCONSIN)
COUNTY OF DANE)ss.

Personally came before me this ____ day of _____, 2016, the above named member to me known to be the person who executed the foregoing instrument and acknowledged the same.

Notary Public, Dane County, Wisconsin
my commission expires _____

Consent of Mortgage Holder

_____ a banking association duly organized and existing under and by virtue of the laws of the State of Wisconsin, mortgagee of the above described land, does hereby consent to the surveying, dividing, and mapping of the land described on this Certified Survey Map, and does hereby consent to the above certificate of KKS Property LLC, owner.

IN WITNESS WHEREOF, the said _____ has caused these presents to be signed by _____, its Authorized Officer, at _____, _____ on this _____ day of _____, 20_____.

(name, title)

STATE OF WISCONSIN)
COUNTY OF DANE)ss.

Personally came before me this ____ day of _____, 20____, the above named officer to me known to be the person who executed the foregoing instrument and acknowledged the same.

Notary Public, _____ County _____
my commission expires _____

Wisconsin Mapping, LLC

* *surveying and mapping services*
306 West Quarry Street, Deerfield, Wisconsin 53531
(608) 764-5602

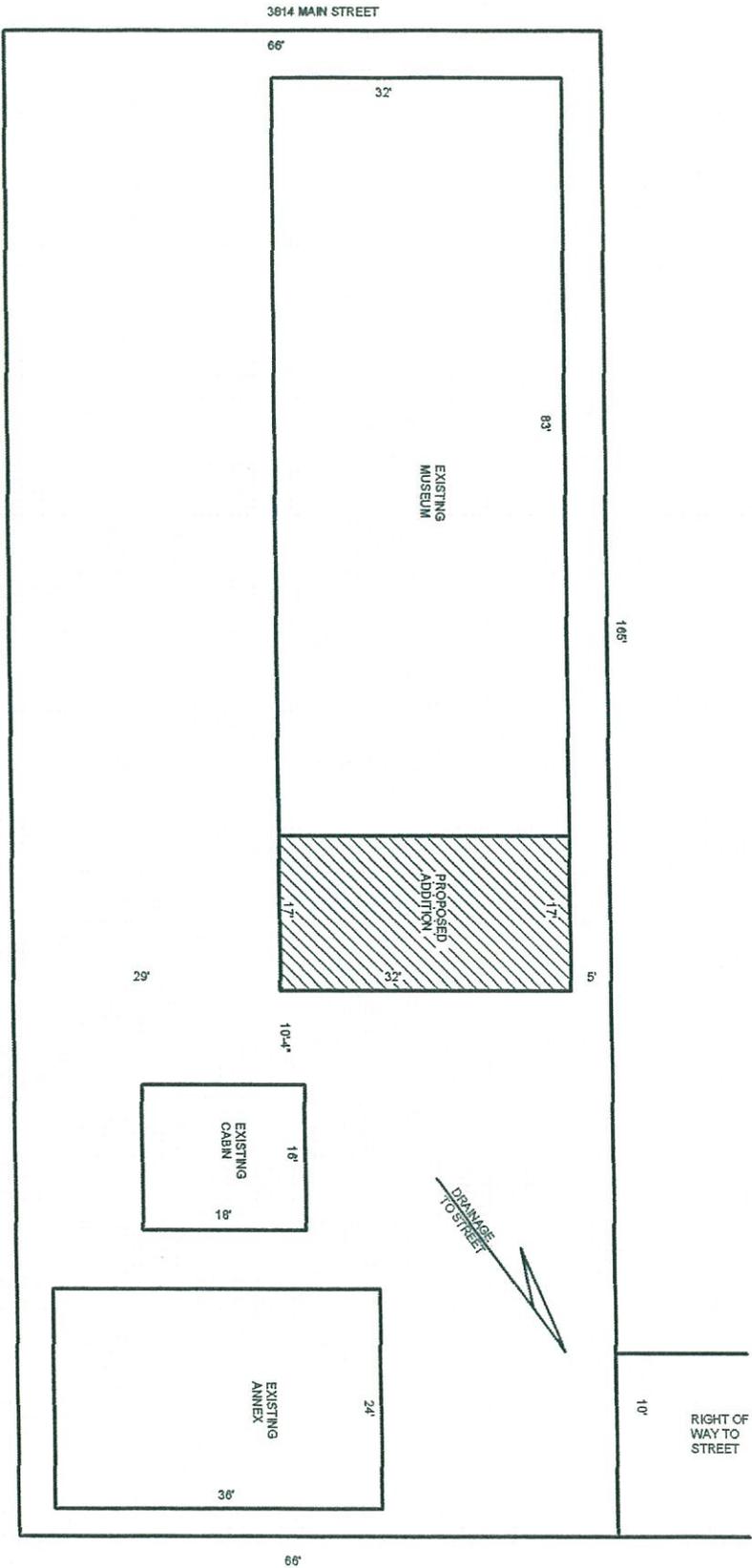
Dwg. No. 4686A-16 Date 5/06/2016
Sheet 5 of 5
Document No. _____
C.S.M. No. _____ V. _____ P. _____

88



061003165156
 59210
 Planning, Water Resources, Recreation

RECEIVED
MAY 1 2016
VILLAGE OF McFARLAND



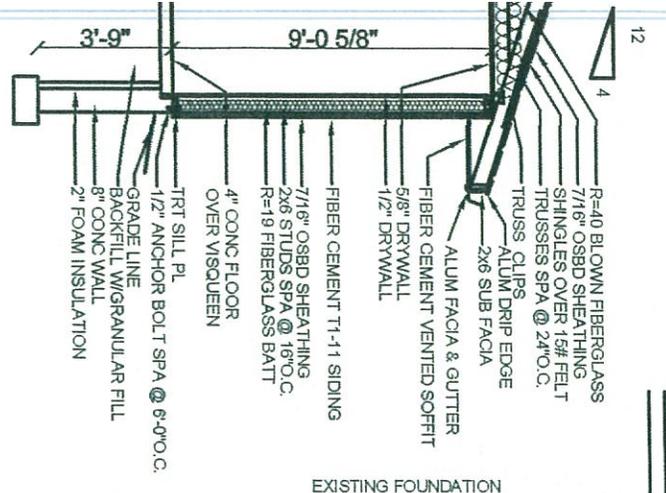
NORTH

SCALE: 1"=20'

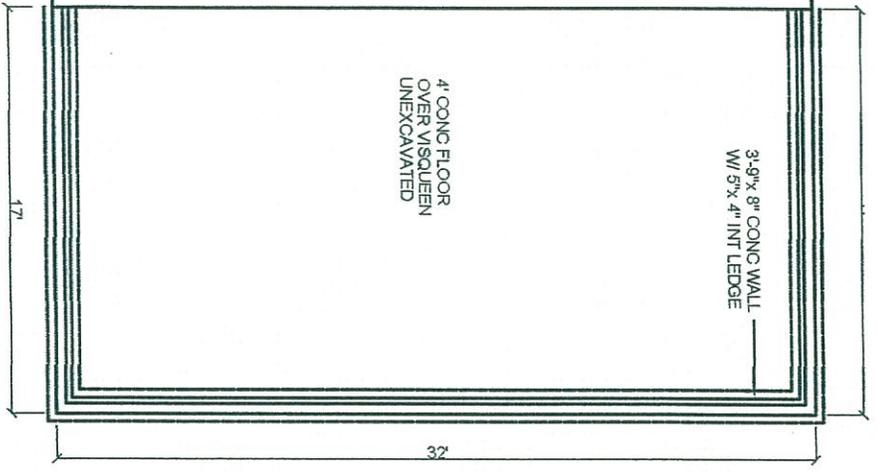
PLOT PLAN

PROJECT:
MUSEUM ADDITION
MADISON, WI

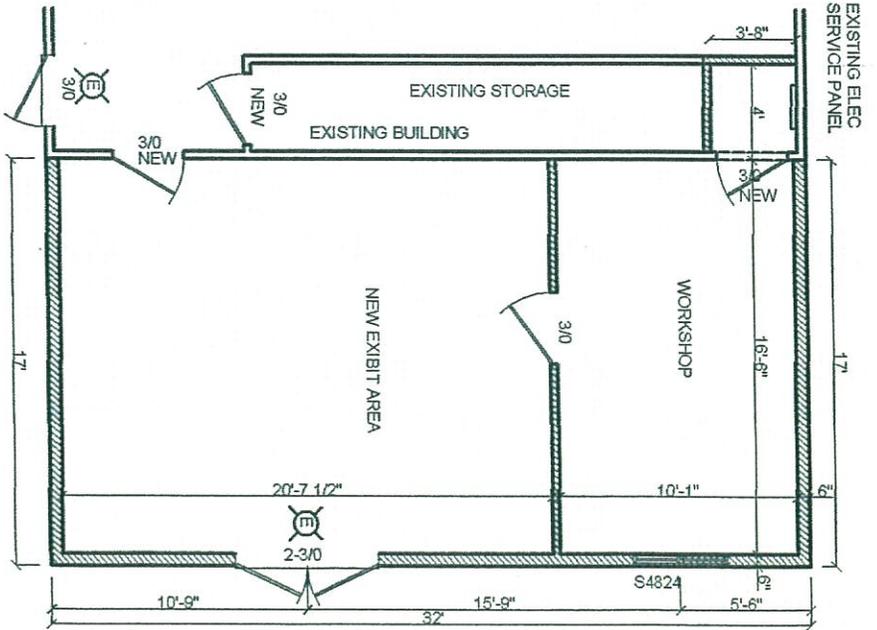
DESIGNER:
GILPIN DESIGNS
COTTAGE GROVE, WI (608)938-8619



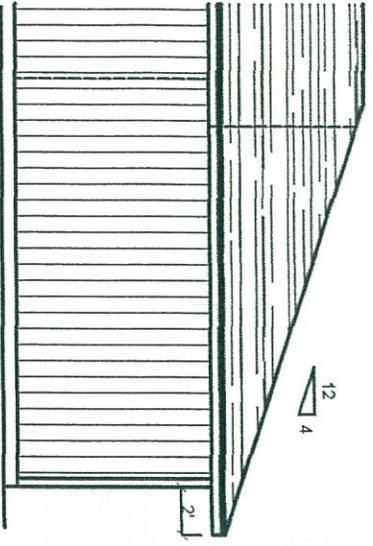
WALL SECTION
SCALE: 3/8" = 1'-0"



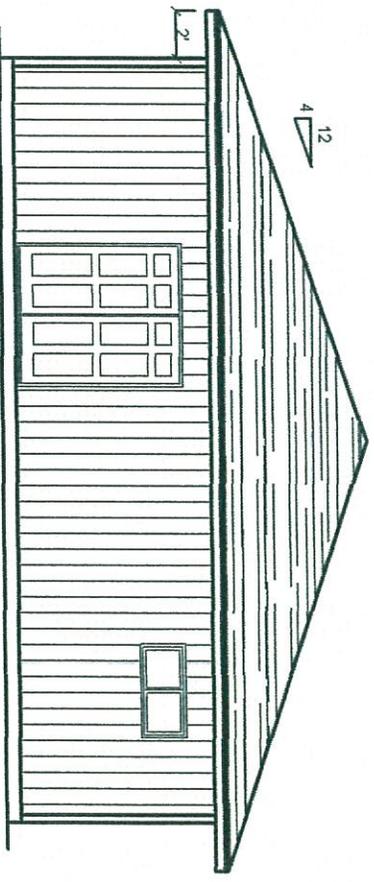
FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



FLOOR PLAN
SCALE: 1/4" = 1'-0"



SIDE ELEVATION
SCALE: 1/4" = 1'-0"
OTHER SIDE IS MIRROR IMAGE



REAR ELEVATION
SCALE: 1/4" = 1'-0"

RECEIVED
 MAY 1 2016
 VILLAGE OF MCFARLAND

Pauline Boness

From: Lokken <lokkenr@swbell.net>
Sent: Monday, June 06, 2016 5:36 PM
To: Community Development
Cc: 'Anne Lokken'; 'Mary Lokken'; 'Jane Licht'; Dale Marsden ()
Subject: Planning Committee Meeting June 20 - Comments

To the Plan Commission:

I received today the letter about the June 20 meeting of the Plan Commission to discuss the review and possible action regarding a site review, requested by the McFarland Historical Society, for approval of an addition to the McFarland Historical Museum located at 5814 Main Street.

My sisters and I own 5803 Main Street, across from the McFarland Historical Museum. My family has owned 5803 Main Street since 1899. I wholeheartedly support the McFarland Historical Society's plans for the addition to the Museum and ask that the Plan Commission approve the request. The McFarland Historical Society performs a wonderful service in documenting the history of McFarland in words and artifacts and will benefit from the additional space. My grandmother, Dorothy Nelson Helmke, was a founding member of the Society and my mother, Crystal Helmke Lokken, was on its Board of Directors before she passed in 2010.

Yours sincerely:

Roald T. Lokken
1/3 owner of 5803 Main Street, McFarland
3414 Georgetown St.
Houston TX, 77005
713 898-3265

Total Control Panel

[Login](#)

To: community.development@mcfarland.wi.us Message Score: 13 High (60): Pass
From: lokkenr@swbell.net My Spam Blocking Level: Medium Medium (75): Pass
Low (90): Pass
[Block](#) this sender
[Block](#) swbell.net

This message was delivered because the content filter score did not exceed your filter level.

From: Mary Lokken <kristelokken@gmail.com>
Sent: Wednesday, June 08, 2016 3:16 AM
To: 'Lokken'; Community Development
Cc: 'Anne Lokken'; 'Jane Licht'; Dale Marsden
Subject: R: Planning Committee Meeting June 20 - Comments

To the Plan Commission,

I agree with my brother, Roald Lokken, regarding this site review.

Mary Kristel Lokken
1/3 owner of 5803 Main Street, McFarland

Da: Lokken [<mailto:lokkenr@swbell.net>]
Inviato: Tuesday, June 7, 2016 12:36 AM
A: community.development@mcfarland.wi.us
Cc: 'Anne Lokken' <lokken@iol.it>; 'Mary Lokken' <kristelokken@gmail.com>; 'Jane Licht' <licht.jane@gmail.com>; Dale Marsden ()
Oggetto: Planning Committee Meeting June 20 - Comments

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Yours sincerely:

Roald T. Lokken
1/3 owner of 5803 Main Street, McFarland
3414 Georgetown St.
Houston TX, 77005
713 898-3265

Report for
Gannon Construction, Inc.

Preliminary Stormwater Management Plan
Prairie Place Subdivision

Prepared by:

STRAND ASSOCIATES, INC.®
910 West Wingra Drive
Madison, WI 53715
www.strand.com

June 2016

RECEIVED
JUN 16 2016
VILLAGE OF McFARLAND



Post-Construction Stormwater Management Plan

Post-construction stormwater management measures for the proposed 33.5-acre plat (Refer to Figure 1) have been developed to manage stormwater quality (80 percent TSS loading reduction for new development), infiltration, and peak reduction. Given the fact that the development is located within a closed depression, no stormwater leaves the site for storms up and including a 100-year, 24-hour storm event. Stormwater pretreatment bioretention basins are being proposed to remove 80 percent of the TSS loading from the development prior to discharge to the wetland. Based on WinSLAMM modeling results summarized in the table below, the four bioretention basins will achieve 88.5 percent TSS reduction performance for the project. Note that the Northwest bioretention basin has been sized to accept stormwater runoff from the existing developed area located west of Holscher Road.

Location ID	Influent (lbs)	Effluent (lbs)	% Reduction
NW Bioretention Basin	3,549	219	93.8
NE Bioretention Basin	1,766	0	100.0
SW Bioretention Basin	681	0	100.0
SE Bioretention Basin	254	37	85.3
Wetland	490	490	0.0
Overall	6,483	746	88.5

Table 1 TSS Removal Results

Stormwater routing calculations through the bioretention basins indicate that each of the basins is capable of retaining and infiltrating stormwater runoff for storm events up to and including a 2-year, 24-hour rainfall event. These basins will be designed as a typical bioretention basin, except that a storage layer and underdrain pipe will not be incorporated. Due to the presence of well drained underlying sandy soils beneath the bioretention basins, there is no need for underdrain piping. Infiltration rates of 1.63 inches per hour are assumed for each of the bioretention basins and within the wetland.

Location ID	1- HWEL (ft)	2- HWEL (ft)	10- HWEL (ft)	100- HWEL (ft)
NW Biobasin	880.14	880.25	880.56	880.97
NE Biobasin	880.14	880.25	880.56	880.97
SW Biobasin	880.09	880.15	880.31	880.48
SE Biobasin	880.19	880.22	880.35	880.56
Wetland	878.85	879.00	879.39	880.34

Table 2 Estimated Highwater Elevations With Infiltration

A condition of past stormwater management approval for the plat was confirmation that an evaluation be performed that demonstrates that the proposed stormwater management controls will provide adequate flood storage in the event that no infiltration occurs both upstream on the Juniper Ridge plat and within the Prairie Place plat. The results of this evaluation are summarized in Table 3 below and indicate that the estimated 100-year high water elevation within the wetland

and surrounding stormwater basins will be 881.35. In the unlikely event that storm events of greater magnitude should occur, the CTH MN relief storm sewer is available to provide a gravity emergency outlet from the development.

Location ID	1- HWEL (ft)	2- HWEL (ft)	10- HWEL (ft)	100- HWEL (ft)
Wetland	879.37	879.52	880.09	881.35

Table 3 Estimated Highwater Elevations Without Infiltration

Wetland Delineation

In the summer of 2015, the potential for presence of regulatory wetlands within the natural depression on the Prairie Place plat was identified. Wisconsin Wetland Inventory (WWI) maps were updated by the WDNR in 2012 and indicated a large wetland complex that was later confirmed by a field wetland determination performed by Bates Soil & Water Testing Services, LLC. The limits of the delineated 6.83 acre farmed wetland was subsequently staked, field surveyed, and mapped (refer Figure 1). The presence of this wetland resulted in the need to significantly alter the layout and design of the previously approved Prairie Place plat.

CARPC Wetland Impervious Area and Grading Buffer Requirements

The Capital Area Regional Planning Commission (CARPC) as the governing water quality planning authority in Dane County, currently has in place certain restrictions pertaining to protection of regulatory wetlands for new developments as follows:

- Requires a 30 foot no grading buffer around the perimeter of a wetland.
- Requires that no impervious surface (rooftops, roads, driveways, etc.) be allowed within a 75-foot setback of the perimeter of the wetland.

In circumstances where these restrictions create undue hardship for a particular land development, variance petitions will be considered by CARPC with the following conditions:

- The variance petition must be sponsored by the local governing authority, in this case the Village of McFarland. The petition for these variances is first submitted to CARPC water resources staff for review. Staff review comments are then submitted to the County regional planning board members for approval.
- Adequate measures in terms of construction site erosion control must be implemented to account for grading within the 30 foot grading buffer.
- Post-construction stormwater management measures should be implemented to account for placement of impervious surfaces within the 75 foot wetland buffer zone.

Given that the existing 6.83 acre wetland is currently and has been historically disturbed by farming, it has a relatively low wetland functional value that justifies the typical CARPC prescribed impervious area and no grading buffer zones. It is our intent to instead focus our efforts to re-establish and restore this farmed wetland closer to its presettlement condition.

Below is a description of the variances that are being proposed for the Prairie Place development.

Wetland setbacks for proposed impervious surfaces are as follows:

1. Lots 54 through 56 = 35 feet, Lot 53 = 42 feet, Lot 52 = 58 feet and Lot 39 = 62 feet. All other single family residential lots shall have a minimum wetland setback for impervious surfaces of 75 feet. Restrictive covenants will be placed on the six lots with less than a 75 foot setback that requires impervious area drainage within the 75 feet of the wetland to be directed to the street or other drainage system prior to entering the wetland.
2. Proposed 10 foot wide shared use path shall be located a minimum distance of 10 feet from the wetland boundary. This standard was proposed to WDNR stormwater engineer Eric Rortvedt and approved per e-mail correspondence dated April 22, 2016.
3. Proposed impervious surfaces on the multi-family lot (Lot 57) located within the 75 foot wetland setback shall be designed to drain to a bioretention basin prior to discharging to the wetlands.

A variance to CARPC's 30 foot no grading buffer around the wetland will also be pursued. Below is a description of the proposal.

1. Proposed wetland grading buffers shown on the typical cross sections of Figure 1 shall be maintained. In general, five foot minimum grading setbacks will be maintained around the perimeter of the delineated wetland. However, the portion of the wetland currently bounded by historical placement of fill (approximately 510 lineal feet) will require grading up to the boundary of the wetland in order to regrade the existing steep slopes (approximately 2:1 slopes) to more manageable and easily maintained slopes (4:1 maximum side slopes).
2. Graded 4:1 side slopes located adjacent to the wetland will be stabilized with no mow fescue seed mix and temporary erosion control mat to minimize erosion.

Wetland and Prairie Restoration Plan

In advance of the subdivision grading, it is our intent to embark on implementing a wetland and prairie restoration of the existing 6.83 acre delineated wetland. The restoration plan will involve establishment of a range of native vegetation (wet detention seed mix, native mesic prairie seed mix, and wet mesic prairie seed mix) as depicted on Figure 1. Selection of appropriate seed mixes was based on anticipated design storm water levels in the wetland.

Details related to implementation and schedule of the restoration are as follows:

1. Spring 2016 - Plant Roundup-Ready soybean crop for minimum stubble. Plant without additional grass or weed herbicides over entire limit of plat, including the 6.83-acre wetland.
2. Early Fall-October 2016 - Harvest soybean crop and minimize surface disturbance. Direct-seed/no-till seed native seed mixes and perform other needed site preparation for enhancement plantings within the 6.83-acre wetland as shown in the restoration plan.

3. Spring 2017 - Placement of silt fence around the perimeter of the enhanced/restored 6.83 acre wetland.
4. Spring 2017 - Anticipated start of construction of Prairie Place subdivision place. Implement erosion control measures (temporary sediment basins at locations of future bioretention basins). Erosion control measures kept in place until development site is completed and stabilized. Install native plantings associated with cumulative development and restoration plan.
5. 2017 Growing Season - Perform maintenance mowing to prevent quick-growing weeds from reseeding, shading, or over-competing with new native seedlings. Mow each time weed growth reaches 10-12-inches and cut to height of 6 inches.
6. 2018 Growing Season - Maintenance mow or spot-mow once or twice raising the cutting height to 6-12-inches. Additional management to include: spot-spraying and selective invasive species and woody species removals.
7. 2019 Growing Season and Beyond - Spring/Summer/Fall reviews and assessment for needed management (mowing, spot-spraying, selective woody removals) and other techniques recommended by restoration contractor.



Proposed Restrictive Covenants for Lots 52 through 56 and Lot 39

1. No impervious surfaces beyond the residential structure will be permitted within the 75 foot wetland buffer. Placement of pervious pavers may be considered on a case-by-case basis for implementation of a patio. Decks will be allowed only in cases where vegetation can be established below the deck. No sheds, or other outbuildings will be permitted.
2. Downspout runoff not directed to the street or a public stormwater management facility shall be captured by on-site rain gardens and/or rain barrels. Sufficient storage volume shall be provided to store runoff for a 1-year, 24-hour storm event.
3. A five foot "no-mow" vegetated buffer zone shall be maintained beyond the delineated wetland boundary and planted with a no-mow fescue seed mix. The wetland boundary will be delineated with fiberglass wetland markers.
4. No yard side slopes within the 75 foot buffer shall exceed a 4:1 (horizontal to vertical) gradient.

Construction Site Erosion Control Plan

As previously stated, it is anticipated that prior to any land disturbance or grading that is related to development outside the wetlands, construction site erosion control measures will be implemented. Anticipated measures will include the following:

1. Silt fence (WDNR Conservation Practice Standard 1056) will be placed around the perimeter of the entire delineated wetland. Silt fence will also be implemented at perimeter locations of the site where sheet flow drainage has the potential to transport sediment offsite.

2. Temporary sediment traps (WDNR Conservation Practice Standard 1063) will be constructed at the same locations where bioretention basins are sited. Following full build out of the subdivision, the temporary sediment basins will be removed and replaced with the bioretention basins.
3. Minimum 5 foot no grading vegetative buffers around the perimeter of the wetlands will be maintained (with the exception of the 510 foot portion adjacent to the fill area). This area will be seeded with a no mow fescue seed mix.
4. Install stone tracking pads (WDNR Conservation Practice Standard 1057) at all points of construction traffic egress.
5. Implement Class II, Type C organic erosion control revegetative mat on all side slopes greater than 4:1. This type of mat is typically used adjacent to environmentally and biologically sensitive areas where plastic netting is inappropriate. Typically will last three-years or greater also.

As final design of the development is advanced, a detailed Construction Site Erosion Control Plan will be developed and submitted for review.

Tom, I spoke with Mike Rupiper at CARPC and how they've handled decks in the past is this. If the deck is designed in such a way that vegetation can be established beneath it, then it can be allowed in the buffer. Typically, if the deck is raised, like a deck off the main level for a walkout basement, vegetation can be established. Even for a deck above a garden lookout (half-out), I'd contend that you can establish vegetation below it (i.e. ferns). Below is a revised version of the restrictive covenants that we discussed.

1. No impervious surfaces beyond the residential structure will be permitted within the 75' wetland buffer. Placement of pervious pavers may be considered on a case-by-case basis for implementation of a patio. Decks will be allowed only in cases where vegetation can be established below the deck. No sheds, or other outbuildings will be permitted.
2. Downspout runoff not directed to the street or a public stormwater management facility shall be captured by on-site rain gardens and/or rain barrels. Sufficient storage volume shall be provided to store runoff for a 1-year, 24-hour storm event.
3. A five foot "no-mow" vegetated buffer zone shall be maintained beyond the delineated wetland boundary and planted with a no-mow fescue seed mix. The wetland boundary will be delineated with fiberglass wetland markers.
4. No yard side slopes within the 75' buffer shall exceed a 4:1 (horizontal to vertical) gradient.

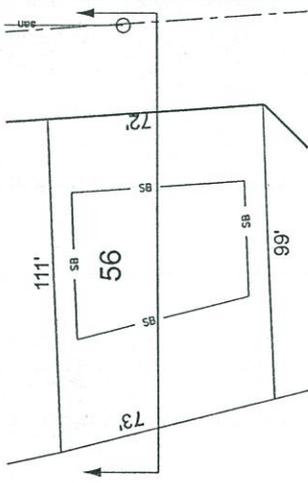
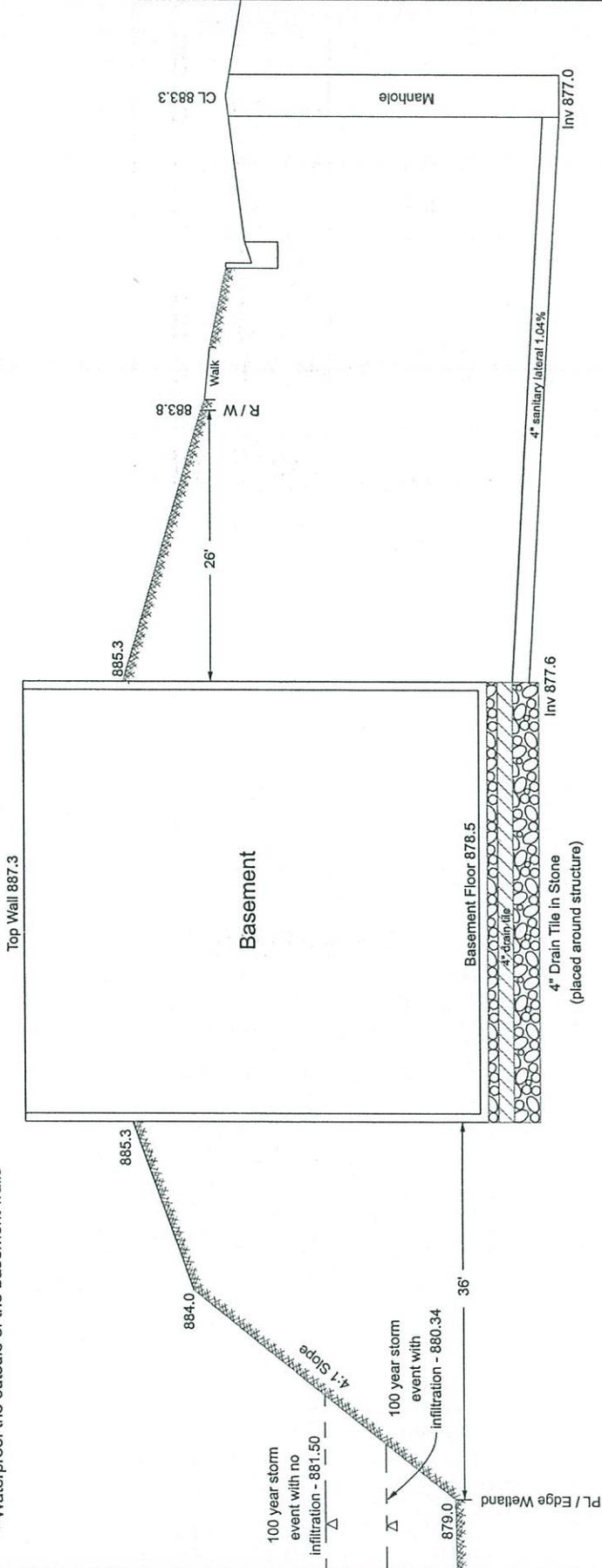
-Mark

Mark K. Shubak, P.E.
Strand Associates, Inc.

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JUN 16 2016
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Lot 56 Cross Section Full Basement

- Note:
- Lowest Building Opening Elev = 883.50
 - No ground water encountered at Borehole #6 located on Lot 55 - dug to a depth of 864.5
 - 4" drain tile in stone will be placed along the outside of the basement
 - Waterproof the outside of the basement walls



Scale
1" = 10' Horiz.
1" = 2' Vert

Office Map No
Sheet 1
of Sheets 1

Lot 56 - Cross Section
Preliminary Plat
Prairie Place

Plan For



Royal Oak & Associates, Inc.
3678 Kirtzman Blvd
Madison, WI 53704
Phone (608) 274-0500
Fax (608) 274-4530
www.royaloakengineering.com

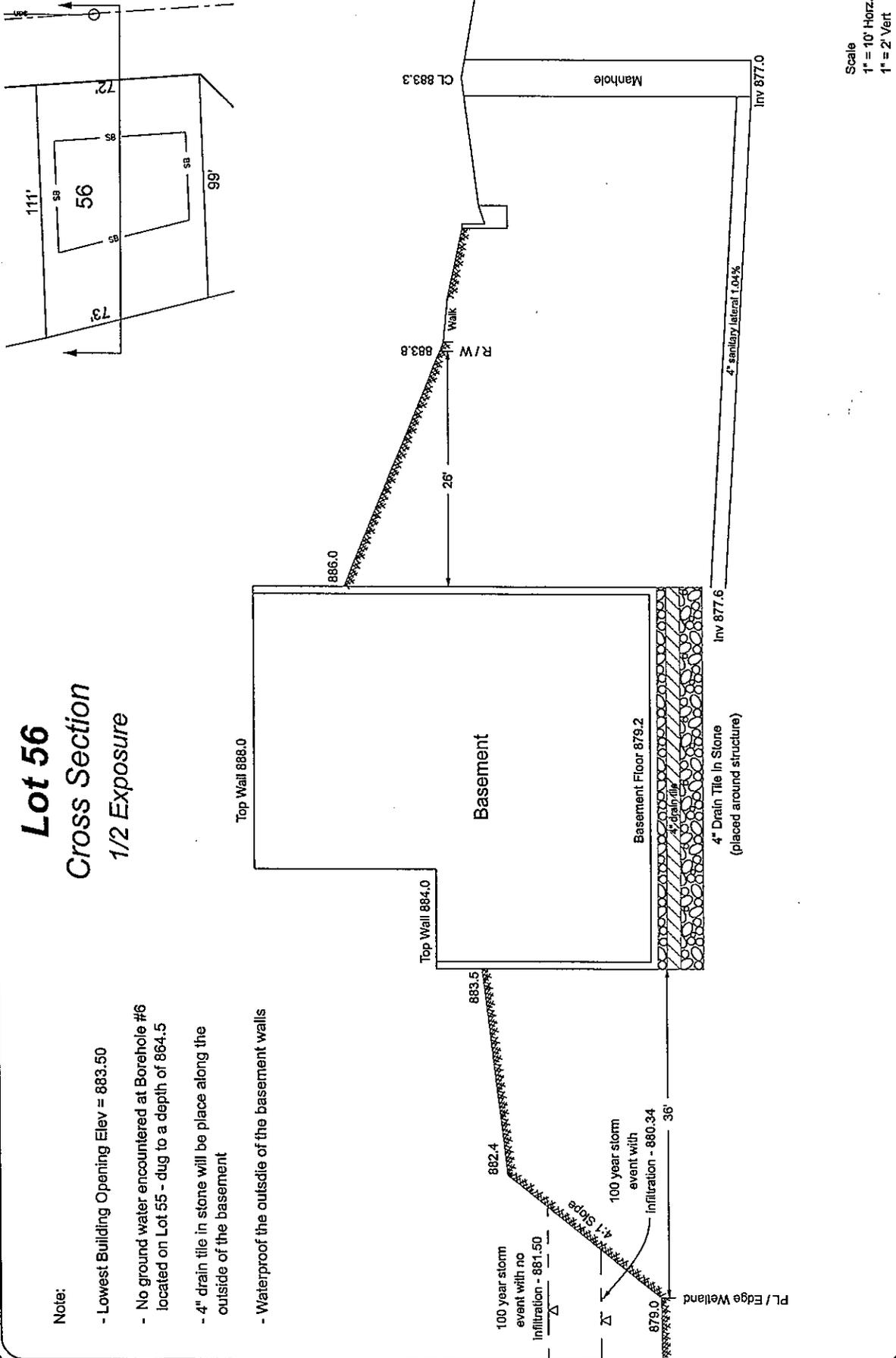
Drafted By: TT
Checked By:
Approved By:
Date: 06-10-16
06-15-16

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JUN 19 2018
VILLAGE OF McFARLAND

Lot 56 Cross Section 1/2 Exposure

Note:

- Lowest Building Opening Elev = 883.50
- No ground water encountered at Borehole #6 located on Lot 55 - dug to a depth of 864.5
- 4" drain tile in stone will be placed along the outside of the basement
- Waterproof the outside of the basement walls

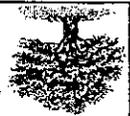


Scale
1" = 10' Horz.
1" = 2' Vert

Office Map No	1
Sheet	1
of Sheets	1

Lot 56 - Cross Section
Preliminary Plat
Prairie Place

Plan For:

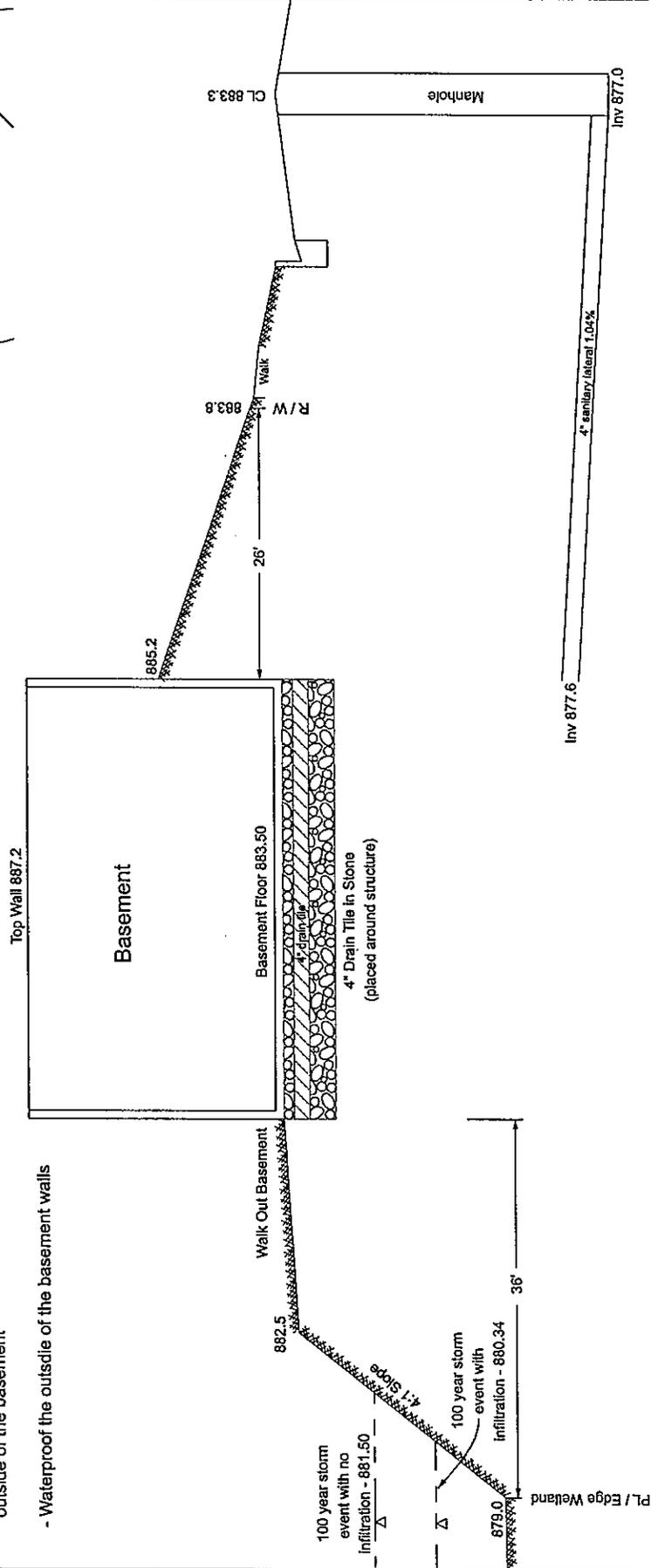


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Drafted By:	TT
Checked By:	
Approved By:	
Date:	08-15-16
DR:	08-15-16

Lot 56 Cross Section Split Level Home Walk out Basement

- Note:
- Lowest Building Opening Elev = 883.50
 - No ground water encountered at Borehole #6 located on Lot 55 - dug to a depth of 864.5
 - 4" drain tile in stone will be placed along the outside of the basement
 - Waterproof the outside of the basement walls



Scale
1" = 10' Horiz.
1" = 2' Vert

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Sheet	1
of Sheets	1

Lot 56 - Cross Section
Preliminary Plat
Prairie Place

Plan For:



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Approved By:	
Date:	06-15-16
Dir:	06-15-16

May 10, 2016

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MAY 10 2016

VILLAGE OF MCFARLAND

Ms. Pauline Boness
Director of Community Development
Village of McFarland
5915 Milwaukee Street
P.O. Box 110
McFarland, WI 53558

Subject: Prairie Place

Dear Pauline:

We have received the preliminary plat for Prairie Place, an approximately 33.5-acre mostly residential subdivision on the Village's east side. We have reviewed the plat for conformance to the engineering items in the Village's subdivision ordinance, as well as Village infrastructure standards and requirements. Our comments are as follows, organized in the order of requirements listed in the ordinance:

Sec. 56-36. - Submission of Preliminary Plat

- Part (b) requires five sets of engineering reports to be submitted with the Preliminary Plat, addressing sewer and water service feasibility, drainage facilities, traffic patterns, typical street cross sections, erosion control plans, pavement design and other improvements – **This was not done.**
- Part (f) requires plans and profiles of streets. **This was not done, but the same information could be provided with rim elevations on the plat.**

Sec 56-59 (b)(15) requires public spaces to be shown. Some are shown, but no parks. We assume this indicates the parkland dedication will be accomplished with fees in lieu of.

Sec 56-59 (c) requires several items regarding the proposed streets and utilities that would not be shown on the plat, but in other documents. The applicant needs to submit tentative cross-sections and centerline profiles for streets, pipe sizes on the water main, a preliminary grading plan, and an erosion control and stormwater management plan. These were not submitted and are needed for preliminary plat approval.

Additional Comments

1. More of Veridan's stormwater management area to the north should be shown to confirm that the Veridian overflow is aligned with the proposed Prairie Place storm easement. The proposed easement (and street profile) in this area should also be graded to allow overland flow that is confined to the easement in the 100-year storm event with all infiltration failed.
2. A new sanitary sewer easement should be shown between lots 38 and 39 to allow for new sewer. This easement should also have sewer constructed in it (but plugged at the Shooting Star Court cul de sac) to allow for future gravity sanitary sewer to be used flowing south. This was a requirement of the recent MMSD approval of Lift Station #5.
3. A new sanitary sewer easement (without pipe) should be shown along the east edge of the petroleum pipeline (and along the back lots of 38 and 39) to allow for future sewer construction to the south.

4. A proposed path or sidewalk, depending on Village preference, should be should on the north edge of CTH MN east of where the current one is proposed, all the way to the east boundary of the plat.
5. There is existing ditching and storm sewer along the north side of CTH MN at Holscher Road that must be accommodated with either new pipe or ditching to convey that flow.
6. The water main at N. Peninsula Way/CTH MN should include a tee with an eastern extension to the east boundary of the plat.
7. The proposed storm sewer in Holscher Road (by Village construction) will be relocated north to match better with the existing low point in Holscher Road and proposed stormwater easement shown. This easement should be graded to allow overland flow that is confined to the easement in the 100-year event with all pipes plugged.
8. The Village should consider requiring additional right-of-way along Holscher Road at the north end of the plat, given the unresolved right-of-way location issues at the south end of the Juniper Ridge Plat. This would provide some flexibility to the Village for reconstructing Holscher Road in the future.
9. The plat shows three streets connecting to lands east of Prairie Place. The connectivity needs for utilities and transportation could likely be served with just two. The Developer should consider a cul de sac for either Shooting Star Trail or White Daisy Lane.

Please feel free to contact us with questions regarding this review. We will plan on attending the necessary upcoming Committee meetings to discuss these comments.

Very truly yours,
TOWN & COUNTRY ENGINEERING, INC.



Brian R. Berquist, P.E.
Vice-President of Municipal Services

cc: Mr. Allan Coville, Director of Public Works, Village of McFarland (5915 Milwaukee Street, P.O. Box 110, McFarland, WI 53558)

Mr. Tom Gannon, Gannon Company (4719 Farwell Street, McFarland, WI 53558)

Mr. Tim Thorson, Royal Oak & Associates, Inc. (3678 Kinsman Boulevard, Madison, WI 53704)

Mr. Mark Shubak, Strand Associates (910 West Wingra Drive, Madison, WI 53715)

Mr. Lawrence Bechler, Murphy & Desmond, S.C. (2 East Mifflin Street, Suite 800, P.O. Box 2038, Madison, WI 53701)

BRB:sai

J:\JOB#S\McFarland\MC-88-15 Prairie Place Devalop-2015 Version\Admin\Review Ltr..docx

Project No.	1520-LL
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Royal Oak & Associates, Inc.
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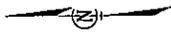
Surveyed For:
Dane County, Wisconsin
Village of McFarland

Prairie Place - Concept Plan
Office Map Number: 1520-LL
Sheet: 1 of 1

Legend
 - Existing Drive
 - Wetland Delimitation
 - Building Footprint
 - Building Setback Line

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Concept Layout -
Lot 57 (larger Lot West of Wetland)
 - Showing Possible Layout of Buildings on this parcel
 - Preliminary Buildings Shown
 - 8 Buildings
 - 24 Unit Buildings
 - 120 Units

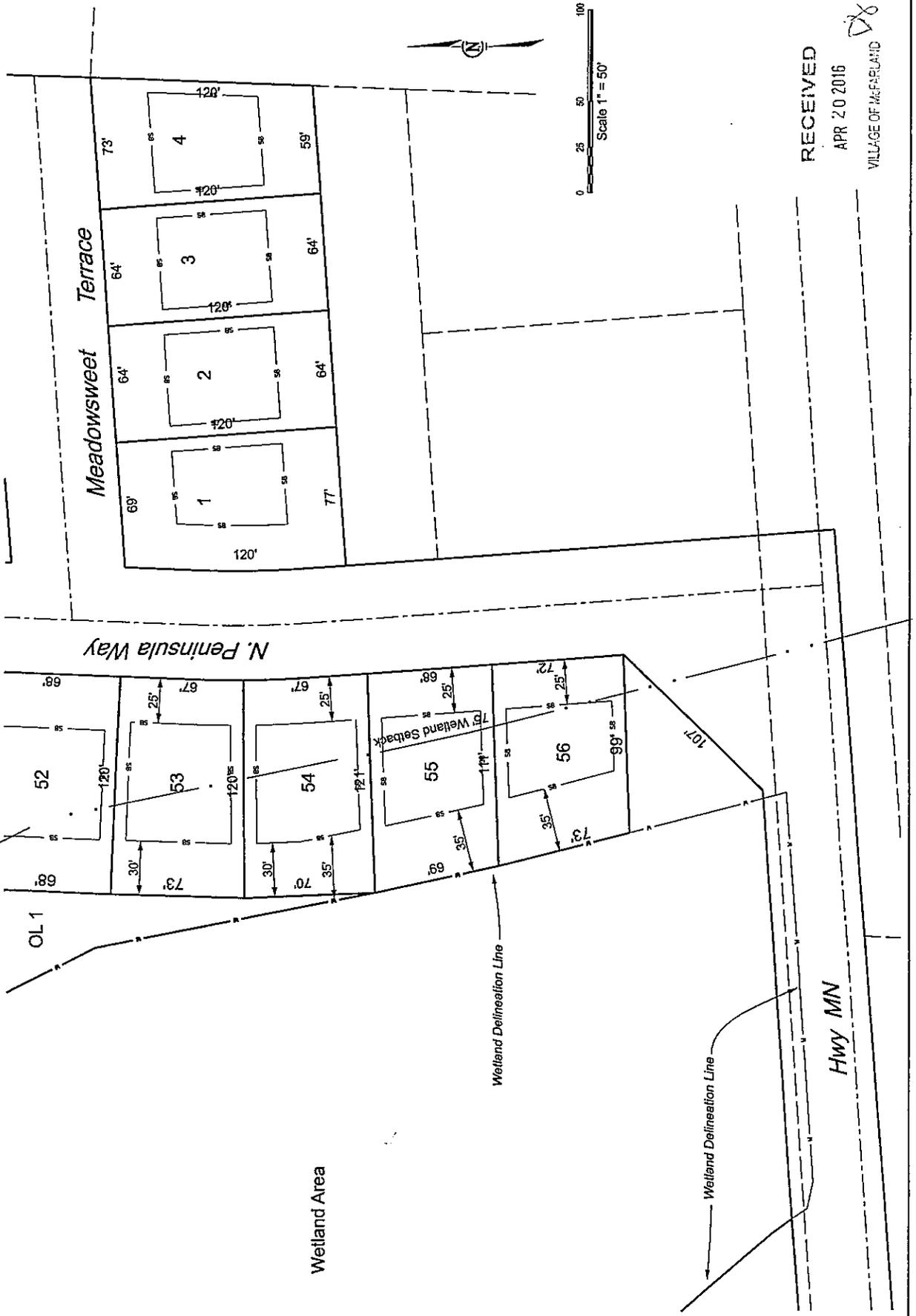


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 Royal Oak & Associates, Inc.
 3678 Kniassan Blvd
 Madison, WI 53704



Preliminary Plat - Prairie Place
 Lots 53 - 56
 Proposed Building Setback

Sheet 1
 of Sheets 1



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WETLAND DELINEATION MAP

PRAIRIE PLACE SUBDIVISION
GANNON CONSTRUCTION, INC.
VILLAGE OF MCFARLAND
DANE COUNTY, WISCONSIN



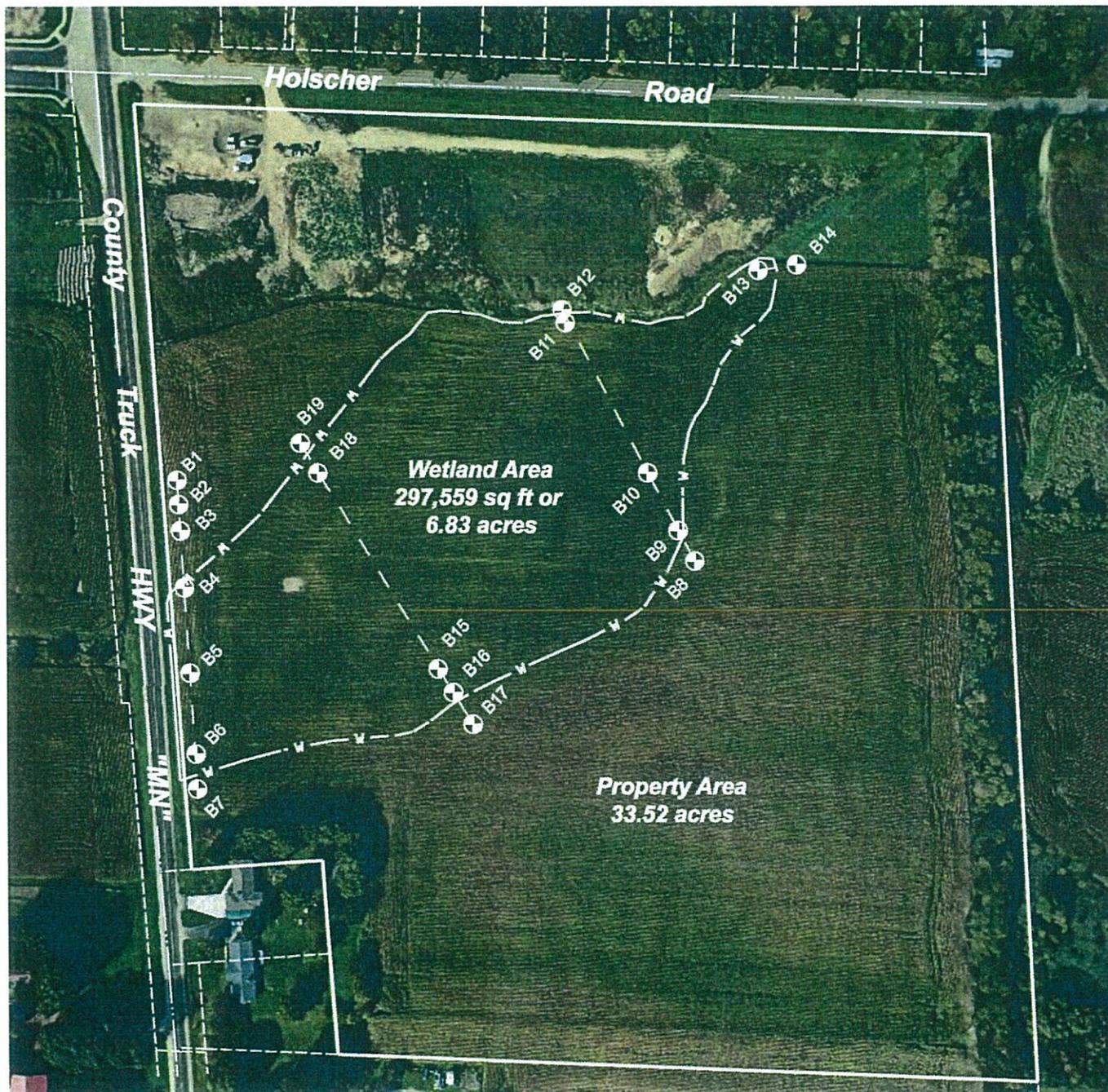
FIGURE 2
18005.002



6.83 Ac. Wetland

User: danc Date: 4/28/2016 Time: 10:27:53 AM

Path: S:\MAD\1800-18001\800\002\Data\GIS\Figures\Wetland Map 18x17.mxd



Surveyed By
Royal Oak & Associates, Inc
3678 Kinsman Boulevard
Madison, WI 53704
Phone (608) 274-0500

Office Map No. 16295
Sheet 1 of 1 Sheet

Wetland Delineation Map
Lying in the NW 1/4 of the NE 1/4 of
Section 02, T06N, R10E, Village of McFarland,
Dane County, Wisconsin

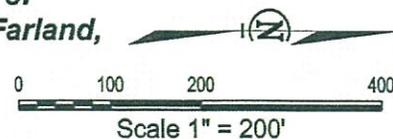


PHOTO 3: VIEW FACING NORTH TOWARD B6

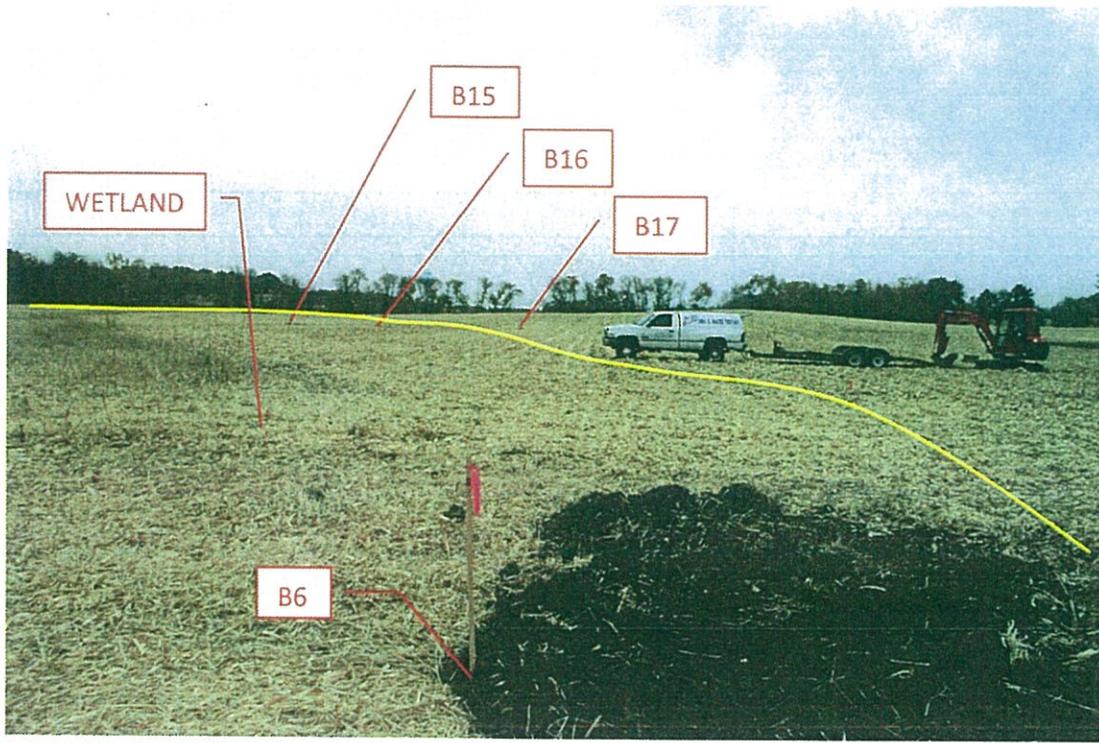


PHOTO 4: VIEW FACING WEST TOWARD B7

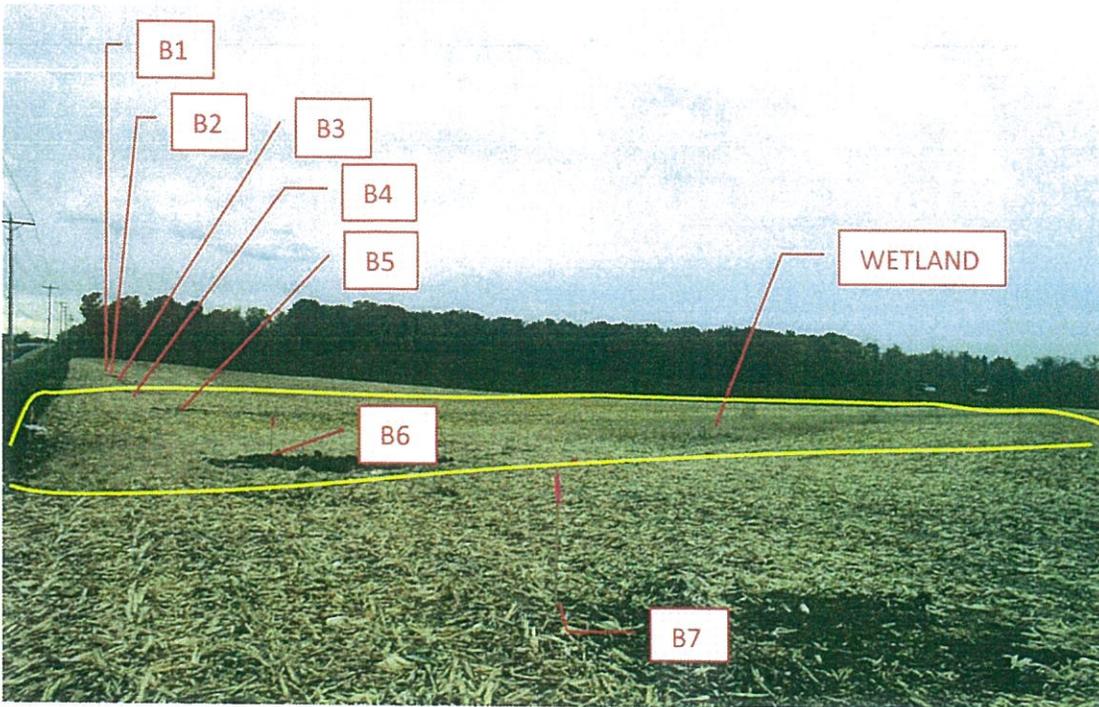


PHOTO 1: VIEW FACING EAST TOWARD B1

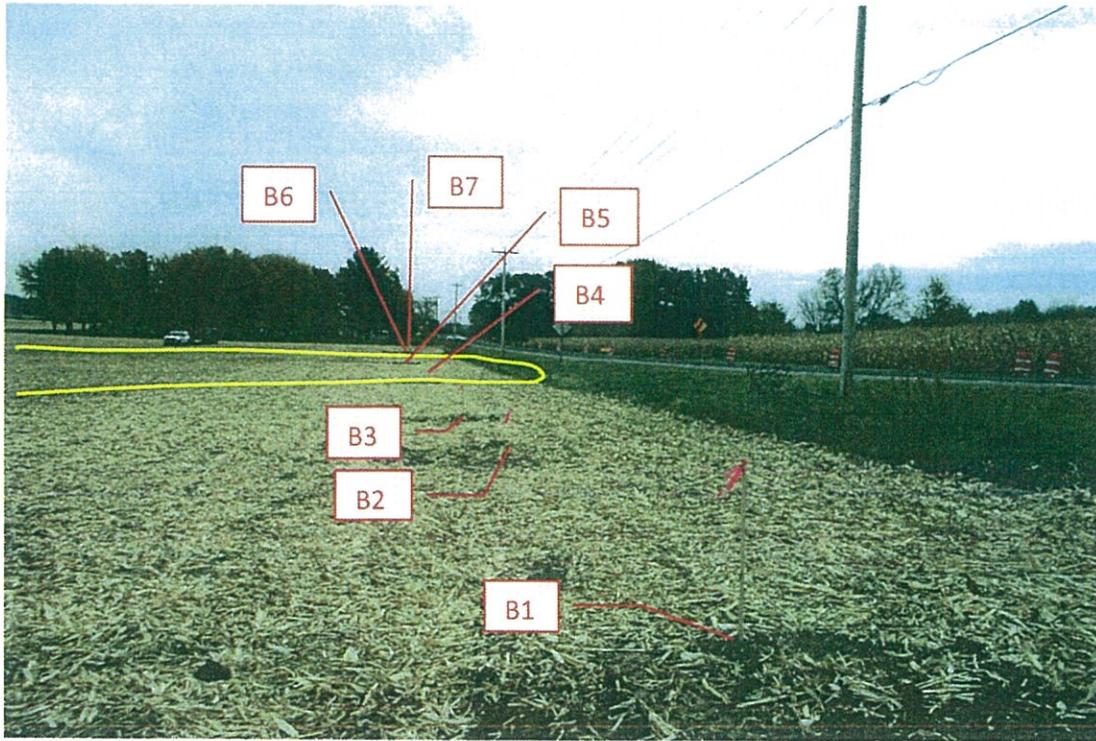
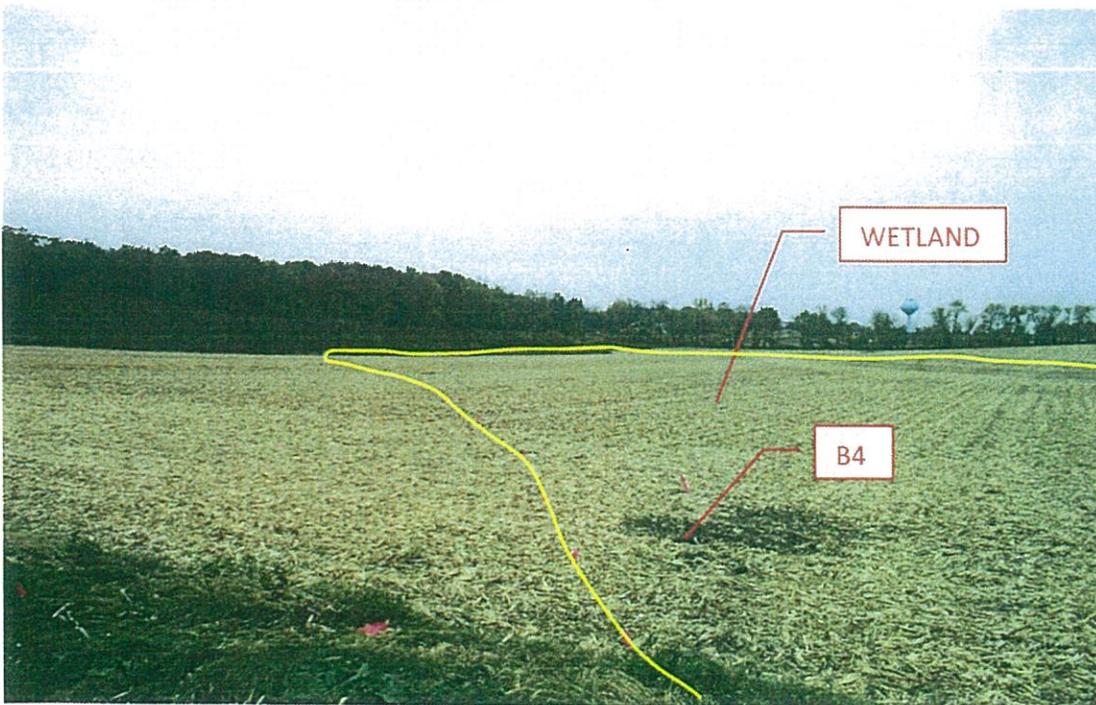
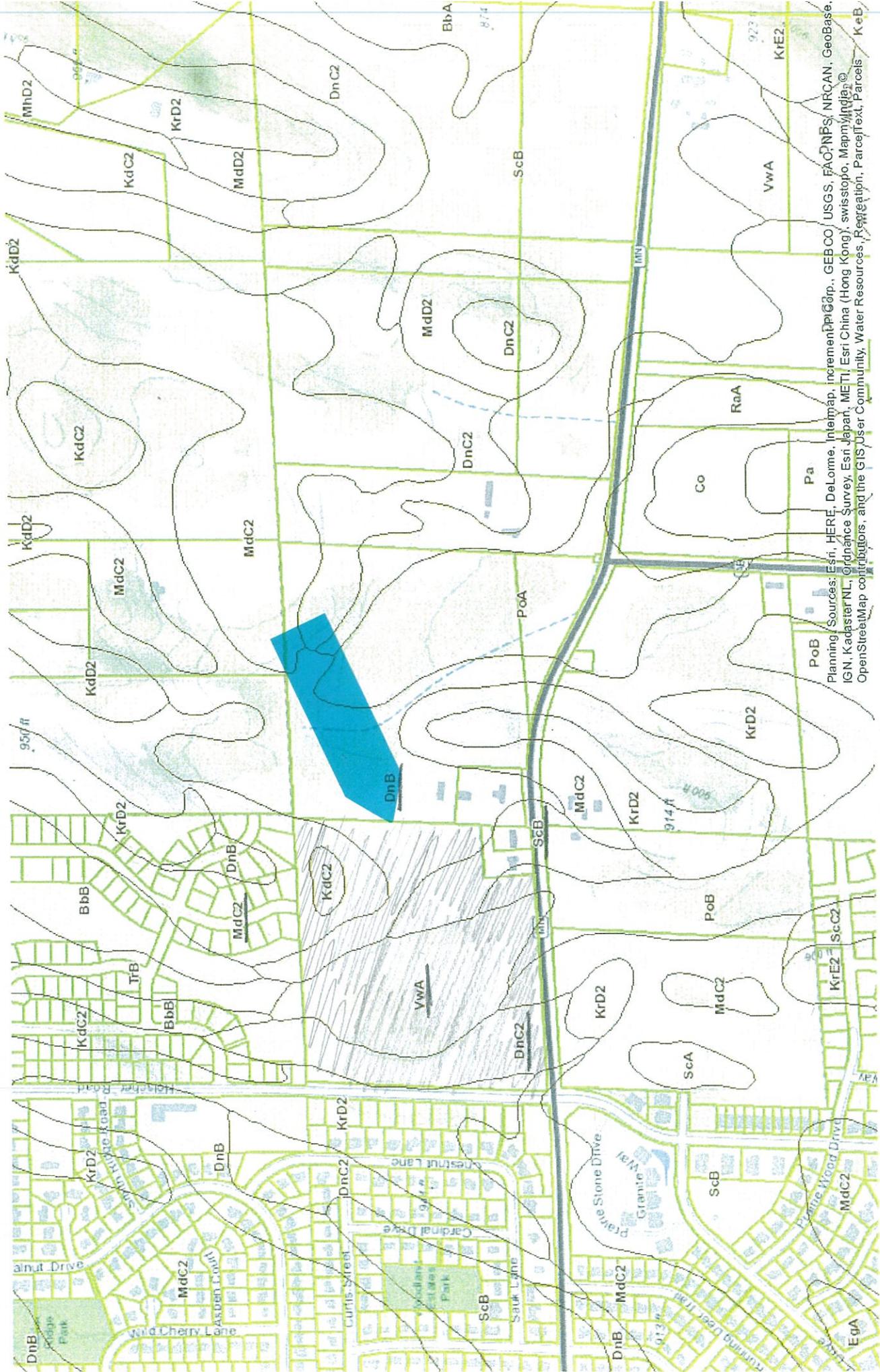


PHOTO 2: VIEW FACING NORTHWEST TOWARD B4





Planning Sources: Esri, HERE, DeLorme, Intermap, increment p Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), Swisstopo, MapmyIndia, © OpenStreetMap contributors, and the GIS User Community, Water Resources, Recreation, ParcelText, Parcels, KeB.

Soil series and map symbols	Septic tank absorption fields	Sewage lagoons	Shallow excavations
ms: BA	Moderate: seasonal high water table; danger of contaminating ground water.	Severe: rapid permeability	Moderate: seasonal high water table at a depth of 6 feet; subject to occasional flooding.
msburg: C1B	Very severe: subject to flooding.	Moderate: slope; moderately permeable; subject to flooding.	Severe: subject to flooding; poor stability.
wood: Co	Very severe: seasonal high water table.	Severe: seasonal high water table; moderately permeable; low stability when wet.	Very severe: subject to flooding; poor stability.
t and all land: Ca. All characteristics variable.	Very severe: seasonal high water table.	Severe: rapid permeability in substratum.	Severe: seasonal high water table; fair stability; subject to occasional flooding.
1 Rev: DIA	Very severe: seasonal high water table; slow permeability; systems will not operate.	Slight	Severe: substratum has poor stability; seasonal high water table.
ms: D9d	Severe: moderately slow permeability in subsoil; bedrock at a depth of 2 to 4 feet.	Moderate: slope; shale bedrock in substratum.	Severe: bedrock at a depth of less than 4 feet; poor stability; many seeps.
D9C2	Severe: moderately slow permeability in subsoil; bedrock at a depth of 2 to 4 feet.	Severe: slope; shale bedrock in substratum.	Severe: bedrock at a depth of less than 4 feet; poor stability; many seeps.
ms: D1A, D1B	Moderate: possible contamination of ground water.	Severe: rapid permeability	Slight: poor stability
D1C	Moderate: slope; possible contamination of ground water.	Severe: rapid permeability	Moderate: slope; poor stability.
ms: DmA, DmB	Moderate: danger of contamination; making ground water.	Severe: very rapid permeability in substratum.	Severe: poor stability
ms: DmC	Slight	Severe: substratum is moderately rapidly permeable.	Slight
DmC2	Moderate: slope	Severe: substratum is moderately rapidly permeable.	Moderate: slope

Soil series and map symbols	Septic tank absorption fields	Sewage lagoons	Shallow excavations	Swellings with basements	Sanitary landfills	Highway location	Local streets and roads
ms: BA	Moderate: seasonal high water table; danger of contaminating ground water.	Severe: rapid permeability	Moderate: seasonal high water table at a depth of 6 feet; subject to occasional flooding.	Moderate: seasonal high water table; serious installation in places; subject to liquefaction and piping when wet.	Severe: rapid permeability	Moderate: seasonal high water table; loose sand binders blowing; subject to soil blowing.	Slight
msburg: C1B	Very severe: subject to flooding.	Moderate: slope; moderately permeable; subject to flooding.	Severe: subject to flooding; poor stability.	Severe: high compressibility; very low bearing capacity; may rapidly subject to flooding when wet; subject to piping.	Severe: subject to flooding in places.	Moderate: subject to flooding; high frost heave potential.	Severe: subject to flooding; low bearing capacity; subject to frost heave.
wood: Co	Very severe: seasonal high water table.	Severe: seasonal high water table; moderately permeable; low stability when wet.	Very severe: subject to flooding; poor stability.	Very severe: moderate bearing capacity; subject to liquefaction and piping; subject to wetness and flooding.	Very severe: seasonal high water table.	Severe: permanent or seasonal high water table at a depth of less than 1 foot; heaving and excavation difficult; high frost heave potential.	Very severe: seasonal high water table; subsoil has moderate bearing capacity; unstable when wet; highly susceptible to frost action; subject to flooding.
t and all land: Ca. All characteristics variable.	Very severe: seasonal high water table.	Severe: rapid permeability in substratum.	Severe: seasonal high water table; fair stability; subject to occasional flooding.	Severe: high bearing capacity; subject to piping when wet; seasonal high water table.	Severe: seasonal high water table; difficult to work during wet periods; danger of contaminating ground water.	Moderate: seasonal high water table at a depth of 1 to 3 feet; moderate frost heave potential.	Severe: subsoil has low bearing capacity and moderate seasonal high water table; frost heave potential.
1 Rev: DIA	Very severe: seasonal high water table; slow permeability; systems will not operate.	Slight	Severe: substratum has poor stability; seasonal high water table.	Severe: seasonal high water table; clayey sediment has moderate bearing capacity; needs water management.	Severe: some ponds in places; high water table.	Very severe: seasonal high water table; low bearing capacity; moderate shrink-swell potential; frost heave.	Very severe: subsoil has low bearing capacity; moderate seasonal high water table; frost heave potential.
ms: D9d	Severe: moderately slow permeability in subsoil; bedrock at a depth of 2 to 4 feet.	Moderate: slope; shale bedrock in substratum.	Severe: bedrock at a depth of less than 4 feet; poor stability; many seeps.	Very severe: subject to slipping; shale bedrock.	Severe: water ponds in places; difficult to work during wet periods; bedrock at a depth of 2 to 4 feet.	Severe: bedrock at a depth of 2 to 4 feet; springs and seeps in places; highly plastic.	Severe: subsoil has low bearing capacity; unstable when wet; highly susceptible to frost heaving.
D9C2	Severe: moderately slow permeability in subsoil; bedrock at a depth of 2 to 4 feet.	Severe: slope; shale bedrock in substratum.	Severe: bedrock at a depth of less than 4 feet; poor stability; many seeps.	Very severe: subject to slipping; shale bedrock.	Severe: water ponds in places; difficult to work during wet periods; bedrock at a depth of 2 to 4 feet.	Severe: bedrock at a depth of 2 to 4 feet; springs and seeps in places; highly plastic.	Severe: subsoil has low bearing capacity; unstable when wet; highly susceptible to frost heaving.
ms: D1A, D1B	Moderate: possible contamination of ground water.	Severe: rapid permeability	Slight: poor stability	Slight	Severe: danger of contamination; making ground water.	Slight	Slight
D1C	Moderate: slope; possible contamination of ground water.	Severe: rapid permeability	Moderate: slope; poor stability.	Moderate: slope	Severe: danger of contamination; making ground water.	Slight	Slight
ms: DmA, DmB	Moderate: danger of contamination; making ground water.	Severe: very rapid permeability in substratum.	Severe: poor stability	Slight	Severe: danger of contamination; making ground water.	Moderate: poor stability unless confined.	Moderate: lacks stability under wheel loads unless confined.
ms: DmC	Slight	Severe: substratum is moderately rapidly permeable.	Slight	Slight	Severe: danger of contamination; making ground water.	Moderate: low bearing capacity in subsoil.	Moderate: subsoil has low bearing capacity; moderate shrink-swell potential and moderate stability.
DmC2	Moderate: slope	Severe: substratum is moderately rapidly permeable.	Moderate: slope	Moderate: slope	Severe: danger of contamination; making ground water.	Severe: slope; low bearing capacity in subsoil.	Moderate: slope; subsoil has low bearing capacity; moderate shrink-swell potential and moderate stability.

TABLE 11.—Degree and kinds of limitations of

SOIL SURVEY

DANE COUNTY, WISCONSIN

the soils for town and country planning—Continued

Soil series and map symbols	Septic tank absorption fields	Sewage lagoons	Shallow excavations	Swellings with basements	Sanitary landfills	Highway location	Local streets and roads
ms: BA	Moderate: seasonal high water table; danger of contaminating ground water.	Severe: rapid permeability	Moderate: seasonal high water table at a depth of 6 feet; subject to occasional flooding.	Moderate: seasonal high water table; serious installation in places; subject to liquefaction and piping when wet.	Severe: rapid permeability	Moderate: seasonal high water table; loose sand binders blowing; subject to soil blowing.	Slight
msburg: C1B	Very severe: subject to flooding.	Moderate: slope; moderately permeable; subject to flooding.	Severe: subject to flooding; poor stability.	Severe: high compressibility; very low bearing capacity; may rapidly subject to flooding when wet; subject to piping.	Severe: subject to flooding in places.	Moderate: subject to flooding; high frost heave potential.	Severe: subject to flooding; low bearing capacity; subject to frost heave.
wood: Co	Very severe: seasonal high water table.	Severe: seasonal high water table; moderately permeable; low stability when wet.	Very severe: subject to flooding; poor stability.	Very severe: moderate bearing capacity; subject to liquefaction and piping; subject to wetness and flooding.	Very severe: seasonal high water table.	Severe: permanent or seasonal high water table at a depth of less than 1 foot; heaving and excavation difficult; high frost heave potential.	Very severe: seasonal high water table; subsoil has moderate bearing capacity; unstable when wet; highly susceptible to frost action; subject to flooding.
t and all land: Ca. All characteristics variable.	Very severe: seasonal high water table.	Severe: rapid permeability in substratum.	Severe: seasonal high water table; fair stability; subject to occasional flooding.	Severe: high bearing capacity; subject to piping when wet; seasonal high water table.	Severe: some ponds in places; high water table.	Moderate: seasonal high water table at a depth of 1 to 3 feet; moderate frost heave potential.	Very severe: subsoil has low bearing capacity and moderate seasonal high water table; frost heave potential.
1 Rev: DIA	Very severe: seasonal high water table; slow permeability; systems will not operate.	Slight	Severe: substratum has poor stability; seasonal high water table.	Severe: seasonal high water table; clayey sediment has moderate bearing capacity; needs water management.	Severe: water ponds in places; difficult to work during wet periods; bedrock at a depth of 2 to 4 feet.	Severe: bedrock at a depth of 2 to 4 feet; springs and seeps in places; highly plastic.	Severe: subsoil has low bearing capacity; unstable when wet; highly susceptible to frost heaving.
ms: D9d	Severe: moderately slow permeability in subsoil; bedrock at a depth of 2 to 4 feet.	Moderate: slope; shale bedrock in substratum.	Severe: bedrock at a depth of less than 4 feet; poor stability; many seeps.	Very severe: subject to slipping; shale bedrock.	Severe: water ponds in places; difficult to work during wet periods; bedrock at a depth of 2 to 4 feet.	Severe: bedrock at a depth of 2 to 4 feet; springs and seeps in places; highly plastic.	Severe: subsoil has low bearing capacity; unstable when wet; highly susceptible to frost heaving.
D9C2	Severe: moderately slow permeability in subsoil; bedrock at a depth of 2 to 4 feet.	Severe: slope; shale bedrock in substratum.	Severe: bedrock at a depth of less than 4 feet; poor stability; many seeps.	Very severe: subject to slipping; shale bedrock.	Severe: water ponds in places; difficult to work during wet periods; bedrock at a depth of 2 to 4 feet.	Severe: bedrock at a depth of 2 to 4 feet; springs and seeps in places; highly plastic.	Severe: subsoil has low bearing capacity; unstable when wet; highly susceptible to frost heaving.
ms: D1A, D1B	Moderate: possible contamination of ground water.	Severe: rapid permeability	Slight: poor stability	Slight	Severe: danger of contamination; making ground water.	Slight	Slight
D1C	Moderate: slope; possible contamination of ground water.	Severe: rapid permeability	Moderate: slope; poor stability.	Moderate: slope	Severe: danger of contamination; making ground water.	Slight	Slight
ms: DmA, DmB	Moderate: danger of contamination; making ground water.	Severe: very rapid permeability in substratum.	Severe: poor stability	Slight	Severe: danger of contamination; making ground water.	Moderate: poor stability unless confined.	Moderate: lacks stability under wheel loads unless confined.
ms: DmC	Slight	Severe: substratum is moderately rapidly permeable.	Slight	Slight	Severe: danger of contamination; making ground water.	Moderate: low bearing capacity in subsoil.	Moderate: subsoil has low bearing capacity; moderate shrink-swell potential and moderate stability.
DmC2	Moderate: slope	Severe: substratum is moderately rapidly permeable.	Moderate: slope	Moderate: slope	Severe: danger of contamination; making ground water.	Severe: slope; low bearing capacity in subsoil.	Moderate: slope; subsoil has low bearing capacity; moderate shrink-swell potential and moderate stability.

TABLE 11.—Degree and kinds of limitations of

Soil series and map symbols	Septic tank absorption fields	Sewage lagoons	Shallow excavations
Ringwood (continued) RcC2	Moderate: slope	Severe: slope; substratum has moderately rapid permeability.	Slight
Rockton Rc3	Severe: bedrock at a depth of 2 to 4 feet.	Severe: dolomite bedrock at a depth of 2 to 4 feet.	Very severe: massive dolomite at a depth of about 3 feet precludes extensive trenching or ditching.
RcC2	Severe: bedrock at a depth of 2 to 4 feet.	Severe: dolomite bedrock at a depth of 2 to 4 feet.	Very severe: massive dolomite at a depth of about 3 feet precludes extensive trenching or ditching.
RcC2	Severe: bedrock at a depth of 2 to 4 feet.	Severe: dolomite bedrock at a depth of 2 to 4 feet.	Very severe: massive dolomite at a depth of about 3 feet precludes extensive trenching or ditching.
Rodman: RpE	Severe: slope; droughty; stony; danger of contaminating ground water.	Severe: substratum has rapid permeability.	Severe: steepness; poor stability throughout.
Sable: SsA	Very severe: seasonal high water table.	Moderate: seasonal high water table; moderate permeability.	Severe: seasonal high water table; subject to flooding; fair stability to a depth of about 5 feet.
St. Charles ScA, SsB	Moderate: subject to frost heave; filter fields have short life because of dispersion of silt.	Moderate: substratum has moderately rapid permeability.	Slight

TABLE 11.—Degree and kinds of limitations of

Soil series and map symbols	Septic tank absorption fields	Sewage lagoons	Shallow excavations
Vergil (continued) VwA	Severe: seasonal high water table.	Moderate: moderately rapid permeability in substratum.	Severe: seasonal high water table; fair stability in soil; poor stability in substratum.
Waconia: WwA	Very severe: seasonal high water table.	Moderate: seasonal high water table; moderately slow permeability.	Very severe: seasonal high water table at a depth of less than 1 foot; poor stability.
Wasauw: WwB	Moderate: danger of contaminating ground water.	Severe: substratum is rapidly permeable.	Moderate: substratum has good stability; substratum has a

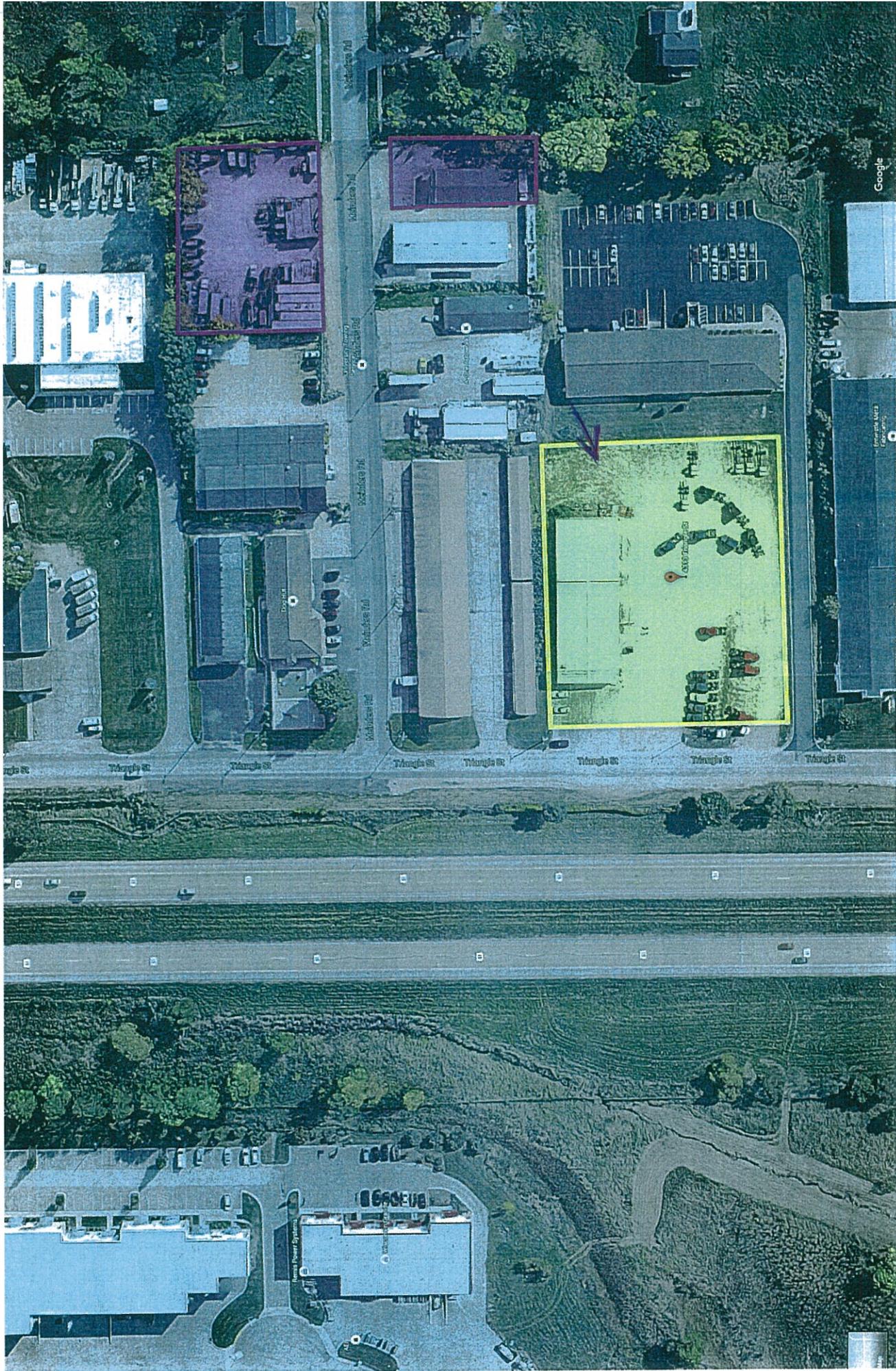
the soils for town and country planning—Continued

Dwellings with basements	Sanitary landfill	Highway location	Local streets and roads
Moderate: slope	Slight	Moderate: subsoil has low bearing capacity.	Moderate: slope; low bearing capacity; moderate shrink-swell potential and stability erodible.
Severe where bedrock needs to be excavated: massive dolomite at a depth of about 3 feet.	Severe: danger of contaminating ground water.	Moderate: dolomite bedrock at a depth of 2 to 4 feet.	Moderate: dolomite at a depth of 2 to 4 feet; subsoil has moderate bearing capacity; unstable where wet.
Severe where bedrock needs to be excavated: massive dolomite at a depth of about 3 feet.	Severe: danger of contaminating ground water.	Moderate: dolomite bedrock at a depth of 2 to 4 feet.	Moderate: slope; dolomite at a depth of 2 to 4 feet; subsoil has moderate bearing capacity; unstable where wet.
Very severe: slope; massive dolomite at a depth of about 3 feet.	Very severe: danger of contaminating ground water.	Severe: slope; dolomite bedrock at a depth of 2 to 4 feet.	Severe: slope; dolomite at a depth of 2 to 4 feet; subsoil has moderate bearing capacity; unstable where wet.
Severe: steepness; erodible; droughty.	Severe: danger of contaminating ground water.	Moderate: slope; stony	Severe: steepness.
Very severe: low bearing capacity; moderate shear strength and compressibility; subject to frost heave; seasonal high water table.	Very severe: seasonal high water table.	Severe: permanent or seasonal high water table at a depth of less than 1 foot; high frost heave potential.	Severe: seasonal high water table at a depth of less than 1 foot; subsoil has moderate bearing capacity; high frost heave potential; unstable where wet; high frost heave potential.
Slight	Slight	Moderate: subsoil has low bearing capacity.	Moderate: subsoil has low bearing capacity and moderate shrink-swell potential.

the soils for town and country planning—Continued

Dwellings with basements	Sanitary landfill	Highway location	Local streets and roads
Severe: seasonal high water table; high bearing capacity; subject to frost heave; subject to seasonal wetness.	Severe: seasonal high water table; difficult to work in wet periods; partial amelioration possible; subject to flooding.	Moderate: seasonal high water table at a depth of 1 to 3 feet; high frost heave potential.	Severe: subsoil has low bearing capacity; unstable where wet; subject to frost heave at a depth of 1 to 3 feet.
Very severe: low bearing capacity; moderate shear strength; subject to frost heave; seasonal high water table at a depth of less than 1 foot.	Very severe: seasonal high water table.	Severe: permanent or seasonal high water table at a depth of less than 1 foot; high frost heave potential.	Very severe: seasonal high water table; low bearing capacity; moderate compressibility; subject to frost heave potential.
Slight	Slight		

#10



Appendix A: Summary of site and Building Design Standards by Subdistrict (see district locations on Map 2)

Subdistrict	Beltline Oriented Commercial	Industrial Center	Meadows/Triangle	Mixed Use Lakeview Village
Preferred Land Uses	<ul style="list-style-type: none"> Highway and job oriented retail Hotel Retreat/conference center Sit-down restaurants Offices Medical clinic Financial institution Daycare and other job center services One or two fuel/convenience stores 	<ul style="list-style-type: none"> Manufacturing Office Distribution Connector shops/services Compatible commercial (especially sites with Highway 51 visibility) 	<ul style="list-style-type: none"> Light industrial (limited trucking and manufacturing) Office Connector shops/services Use transition to residential neighborhood to east 	<ul style="list-style-type: none"> Multi-story, mixed-use buildings; Ground floors; neighborhood retail, offices, and services—create flexible spaces; Upper floors: housing and offices Offices and attached residential with lake views Local retail and commercial services Live-work unit potential No auto-oriented commercial uses
Suggested Development Intensity (FAR = Floor Area Ratio)	<ul style="list-style-type: none"> FAR target between 0.35 and 1.5 Connector shops/services (especially next to U.S. 041) 	<ul style="list-style-type: none"> FAR target between 0.15 and 1.0 for Industrial uses FAR target between 0.35 and 1.5 for Commercial uses 	<ul style="list-style-type: none"> FAR target between 0.15 and 1.0 for Industrial uses FAR target between 0.35 and 1.5 for Commercial uses 	<ul style="list-style-type: none"> FAR target between 0.35 and 3.0 Maximum housing density of 40 units per acre Maximize density/FAR near transit station
Urban Design Features	<ul style="list-style-type: none"> High-quality, highway oriented commercial center; minimize standard corporate franchise design Building and landscape design to reflect nature-based recreation theme Buildings oriented toward Terminal Drive or Highway 51 Natural building materials; generally avoid metal and vinyl siding Grouped back-of-building areas on double-fronted lots Connections between buildings Sidewalks on all streets Preserved woods and wetlands when sites develop Preserved lake views Nature trails and bicycle lanes on Terminal Drive 	<ul style="list-style-type: none"> Buildings & entries oriented to street Sidewalk and bike lane on east side of Terminal Drive Screened outdoor storage to rear of building Screened roof, wall, and ground mechanicals Quality facade materials, emphasizing non-metal surfaces on street-parking facades 	<ul style="list-style-type: none"> Buildings & entries oriented to street Sidewalks on both sides of all streets Screened outdoor storage to rear of building No outdoor operations adjacent to residential neighborhood Screened roof, wall, and ground mechanicals Quality facade materials, emphasizing non-metal surfaces on street-parking facades Smooth transitions to residential to east; building quality, landscaping 	<ul style="list-style-type: none"> Continue existing lakeview character “Transit Oriented Development” form—focus on design, density, & access Set back building facades above the 3rd story Concentrate retail activity near transit stop Mixed-use buildings along streets & open spaces Urban open spaces and street furniture On-street parking and sidewalks on both sides of streets Maximize lake and possible capitol views Preserve woods when sites develop; Build into grades
Principal Building Setbacks	<ul style="list-style-type: none"> Minimum of 50’ of front building wall 10’ to 30’ from Terminal Drive right-of-way -OR- Minimum of 30’ of front building wall at 30’ to 80’ from Highway 51 right-of-way 	<ul style="list-style-type: none"> Minimum of 50% of front building wall 20’ to 35’ from Terminal Drive or McFarland Street right-of-way 	<ul style="list-style-type: none"> Minimum of 50% of front building wall 20’ to 35’ from street right-of-way 	<ul style="list-style-type: none"> Minimum of 75% of front building wall 5’ to 20’ from Sigelkrow right-of-way Site other buildings to take advantage of views and topography
Recommended Building Height	<ul style="list-style-type: none"> Generally 1 to 4 stories Hotel maximum height of 6 stories 	<ul style="list-style-type: none"> Generally 1 to 3 stories 	<ul style="list-style-type: none"> Generally 1 to 3 stories 	<ul style="list-style-type: none"> Generally 2 to 5 stories
Parking	<ul style="list-style-type: none"> Parking on all streets, except Terminal Drive Surface parking to rear of buildings with limited, screened side yard and Highway 51 frontage parking Parking to inside of minimum building setbacks Encourage shared parking Landscape parking lots; divide large lots into pods Bike parking facilities 	<ul style="list-style-type: none"> Parking on all streets, except Terminal Drive Employee parking/loading to side or rear Visitor parking spaces permitted in front Parking to inside of minimum building setbacks Landscape parking lots Bike parking facilities 	<ul style="list-style-type: none"> Parking on all streets, except Triangle Street before upgrade Employee parking/loading to side or rear Screen parking and loading from residential neighborhood Visitor parking spaces permitted in front Parking to inside of minimum building setbacks Landscape parking lots Bike parking facilities 	<ul style="list-style-type: none"> Parking on all streets except Terminal Drive Surface parking to rear of buildings with limited side yard parking Encourage underground, structured, and shared parking; bike parking facilities near transit stop No greater than 40’ of parking lot frontage on street (except where building is set back to protect trees, maximize lake views, or along Highway 51)
Stormwater Principles	<ul style="list-style-type: none"> Maximize on-site water quality & infiltration, including from parking lots and rooftops On-site water quality features 	<ul style="list-style-type: none"> Maximize on-site water quality and infiltration, including from parking and roof On-site and regional management approaches 	<ul style="list-style-type: none"> Maximize on-site water quality and infiltration, including from parking lots and rooftops On-site and regional management approaches 	<ul style="list-style-type: none"> Urban stormwater management approaches On-site water quality features
Signs	<ul style="list-style-type: none"> Ground and first floor signs Building (not sign) visibility emphasized Remove and do not allow billboards 	<ul style="list-style-type: none"> Monument and first floor signs 	<ul style="list-style-type: none"> Monument and first floor signs 	<ul style="list-style-type: none"> On-building, first floor signs Themed, small-scale projecting signs encouraged Monument signs allowed at sites away from Sigelkrow

Note: See plan text for further explanation of standards in above described districts

April 29, 2016

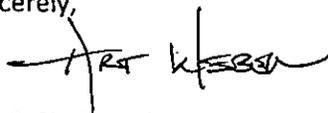
To: Village of McFarland

From: Art & Cindy Weber
5306 Falling Leaves Lane
McFarland, WI 53558

We are 21 year residents of McFarland and have been in our current residence since 2000. We would like to sub divide our large lot into two lots so we can build another home for ourselves and sell our existing home. Our existing lot is roughly 26000 square feet. We believe the backyard portion of our lot to be between 9000 and 10000 square feet. We are confident that it is just short of the R1 10000 square feet requirement and therefore are looking to rezone this to R1A since we are shy of the R1 requirement. It is clear that the village has provided zoning concessions to developers such as Veridian where we understand they can build homes on lots listed as R1A with lot sizes as small as 7000 square feet.

We love this community and hope to continue to reside here forever. Directly across Summer Trail sits three homes and our side have just two. We see this as an opportunity to fill in an area in the village which would add another single family home thereby adding more property tax revenue to the village. We sincerely appreciate you considering this request.

Sincerely,

A handwritten signature in black ink, appearing to read 'Art & Cindy Weber', written over a horizontal line.

Art & Cindy Weber

RECEIVED

APR 29 2016

VILLAGE OF MCFARLAND



AUTUMN GROVE- 9TH ADDITION

AUTUMN GROVE-10TH ADDITION

AUTUMN GROVE- 3RD ADDITION

AUTUMN GROVE- 8TH ADDITION

Planning, Geophysical, Water Resources, Recreatio

Handwritten blue scribbles.



Village of McFarland Comprehensive Plan Update
 Monthly Progress Report
 May 2016



Tasks	Completed Work	Anticipated Work
Task 1.1: Internal Project Kick-Off Activities	Task complete.	
Task 1.2: Coordinate Successful Project Completion	Provided info to Thistle and Village newsletter; address minor survey "fire"	Follow up article about survey to Thistle; meet with Pauline
Task 1.3: Project Steering Committee Meetings		Schedule next meeting; July 18?
Work Session 3: Planning of V&D (June 30th)		
Task 2.1: Other Committee/Stakeholder Meetings	CDA—May 4; School District—May 9; Public Works—May 10; Utilities—May 17; Senior Outreach Committee—May 19; High School Student Cmte—May 19	Parks & Recreation—June 16, 7 p.m. Public Safety – July 13, 6:30 p.m. (Phone/email: Historical Society, Cemetery Assn, Rod & Gun Club
Task 2.2: Web-Based Survey	Survey launched, along with publicity to local media, email, Web, etc.	Survey to close on June 30 th ; analysis to follow
Task 2.3: Other Web-Based Communications	Continued updating webpage; handed over Facebook to Village staff	Continue to promote participation through social media
Task 2.4: Community Meeting to Guide Plan Update		
Work Session 4: Plan Completion		
Task 3.1: Comprehensive Plan Maps		
Task 3.2: Conditions and Issues Volume of Plan	Continue to receive feedback on C&I volume at committee meetings	Second draft to be made available on website at the end of June or July
Task 3.3: Vision and Directions Volume of Plan	Accumulated ideas for V&D report at committee meetings	Continue to accumulate ideas for V&D report
Task 3.4: Recommendation and Adoption of Plan		
Task 3.5: Production of Adopted Comprehensive Plan		



Comprehensive Plan Meetings and Milestones Schedule

(Updated May 31, 2016; Subject to Further Change as Process Evolves)

Village Staff/Consultant Kick-off Meetings: *January 12 and 21, 2016*

- Discuss purpose and process for Comprehensive Plan update
- Discuss/refine public participation plan
- Finalize approach for Web-based communications and survey
- Identify community facility and utility conditions and needs
- Respond to questions related to completion of Conditions and Issues volume

Consultant Shares First Draft of Conditions and Issues Volume: *March 2016*

Plan Commission Meeting #1: *March 31, 2016*

- Share purpose and process for Comprehensive Plan update
- Discuss potential vision, themes, directions, and challenges for Plan
- Review draft web-based community survey

Plan Commission Meeting #2: *April 18, 2016*

- Finalize web-based community survey
- Assist with identification of community groups/committees with which to meet
- Present first draft of Conditions and Issues Volume of Plan and invite comments

Consultant Conducts Web-Based Community Survey: *April-June 2016*

Other Committee and Community Group Meetings (up to 14): *late April-July 2016*

- Meet with Community Development Authority (May 4th); Public Works Committee (May 10th); Parks, Recreation and Natural Resources Committee (June 16th); Public Utilities Committee (May 17th); Landmarks Commission (April 28th); Senior Outreach Committee (May 19th); and Public Safety Committee (July 13th)
- Meet with School District to coordinate planning processes and objectives (May 9th)
- Meet and talk with other stakeholder groups, including Chamber of Commerce (June 14th), McFarland High School Student Advisory Group (May 19th)
- Within these meetings:
 - Review Conditions and Issues volume chapter(s) related to group's focus
 - Discuss potential vision and initiatives for Village Comprehensive Plan
 - Identify their initiatives and plans that intersect with Village Plan

Consultant Proposes Draft Materials for Vision and Directions Volume: *July 2016*

- Draft community vision statement/format
- Preliminary description of specific initiatives for volume
- Draft future land use map and associated policies
- Draft future transportation/community facilities map

Consultant Prepares Next Draft of Conditions and Issues Volume of Plan: July 2016

Plan Commission Meeting #3: late July 2016

- Review results of the other committee and stakeholder group meetings
- Review results of Web survey and other Web-based communications
- Finalize/adopt Conditions and Issues Volume of Plan
- Review and revise preliminary materials for Vision and Directions Volume of Plan

Plan Commission Meeting #4: early August 2016

- Complete discussion of topics not discussed or finalized at late July meeting

Village Board Check-in Meeting: August 2016

- Review outcomes of Plan Commission meetings #3 and #4
- Provide policy direction on key issues and Plan recommendations

Consultant Prepares First Draft of Vision and Directions Volume of Plan: July-Aug 2016

Plan Commission Meetings #5 and #6: September 2016

- Review and advise changes to first draft of Vision and Directions Volume
- Prepare for community presentation and input meeting

Consultant Prepares Second Draft of Vision and Directions Volume of Plan: Sept. 2016

Community Presentation on Draft Plan: early October 2016

- Invite Board, public, members of earlier committees/groups, and adjoining/overlapping communities to attend and provide input

Consultant Prepares Approval Draft of Vision and Directions Volume: October 2016

Joint Village Board/Plan Commission Meeting: November 2016

- Hold formal public hearing on Comprehensive Plan
- Plan Commission recommends Comprehensive Plan for Village Board adoption
- Board adopts Comprehensive Plan

Consultant Prepares Adopted Versions of Both Volumes of Plan: December 2016

- Also, follow distribution requirements under Section 66.1001 of Statutes